

OVERVIEW FROM NEWTONVILLE AVENUE

OULINE SPECIFICATIONS

GENERAL REQUIREMENTS

- 1. CONTRACTOR TO REVIEW ALL DRAWINGS AND DIMENSIONS AND BRING ANY DISCEPENY TO THE ATTENTION OF THE ARCHITECT.
- 2. NOTIFY ARCHITECT PRIOR TO COMPLETION OF STRUCTURAL FRAME.
- 3. CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION WAYS AND MEANS.

FOUNDATION

- 1. ALLOWABLE SOIL STRESS, 2000 LBS / SF
- 2. ALL FOOTINGS TO BE PLACED ON UNFROZEN, UNDISTURBED OR COMPACTED SOIL
- 3. ALL FOOTINGS TO BE 4' BELOW GRADE MIN.
- 4. DAMPPROOF ALL EXTERIOR CONCRETE IN CONTACT WITH SOIL
- 5. PROTECT FOOTINGS AGAINST FROST UNTIL BACKFILLED
- 6. PROVIDE VAPOR BARRIER UNDER ALL SLABS

CONCRETE

- 1. COMPRESSIVE STRENGTH OF CONCRETE TO BE 3000 PSI AT 28 DAYS
- 2. SLABS ON GRADE TO BE PLACED IN 1,200 SF PANELS MAX. ON MIN. 4" COMPACTED CRUSHED STONE AND VAPOR BARRIER
- 4. SLABS TO BE REINFORCED WITH W2 6X6 WWF
- 5. CONSTRUCTION JOINTS TO BE CUT OR TROWELD 1/4" DEEP AT 20' SPACING
- 6. MINIMUM CONCRETE COVER FOR AREAS IN CONTACT WITH GROUND TO BE 3" MIN.
- 7. MINIMUM CONCRETE COVER FOR OTHER AREAS TO BE 2" MIN.
- 8. SLOPE GARGE FLOOR 1/4" /FT TO DOOR.

STRUCTURAL STEEL CONSTRUCTION

- 1. ALL STEEL TO BE A36, PRIMED
- 2. BASEMENT COLUMNS TO BE 4X4 TUBE OR PIPE, 1/4" DIAMETER WITH 5/8" X 9"X 4" TOP AND BOTTOM PLATE, LAG BOLTED WITH 4 5/8" LAG BOLTS OR LALLY COLUMNS HEAVY GRADE STEEL JACKET.

STRUCTURAL WOOD CONSTRUCTION

- 1. NEW FRAMING TO HAVE THE FOLLOWING MINIMUM ALLOWABLE STRESS IN BENDING (Fb), SHEAR (Fv) AND MODULUS OF ELASTICITY (E)
- 2. 2" WIDE JOIST FB = 1,000 MIN. , E = 1,200,000, FV = 75 PSI
- 3. STUDS - Fb = 1,000 PSI, E = 1,200,000 , FV = 75 PSI
- 4. LAMINATED VENEER LUMBER - BENDING Fb = 2,800 PSI, E = 2,000,000 PSI, SHEAR = 290 PSI
- 5. SILLS TO BE 2 - 2X6 PT WITH 5/8" X 1" ANCHORS BOLTS @ 4' O.C.
- 6. BEARING PARTITIONS SHALL BE BRIDGED MID HEIGHT
- 7. FLOOR SPANS > 10' SHALL BE BRIDGED
- 8. BUILT UP WOOD BEAMS SHALL BE BOLTED WITH TIMBER LOCK 3/16" BOLTS AT 16" O.C. STAGGARD
- 9. LEDGERS SHALL BE LAGED TO STUDS OR JOIST BAND @ 32" O.C. MIN. WITH LEGER LOCK 3/8" LAGS. SPANS GREATER THAN 8' TO BE 2 - 3/8" LAGS @ 32" O.C.

- 10. NO JOIST SHALL BE NOTCHED AT TOP OR BOTTOM
- 11. PROVIDE DOUBLE JOIST UNDER ALL NON LOAD BEARING PARTITIONS PARALLEL TO FLOOR FRAMING
- 12. PROVIDE SOLID BLOCKING WHERE JOIST ENDS ARE UNRESTRAINED FROM ROTATION
- 13. MINIMUM BEARING FOR ALL JOIST OR RAFTERS TO BE 3"
- 14. MINIMUM BEARING FOR ALL BEAMS TO BE 3.5"
- 15. LINTELS TO BEAR ON MINIMUM OF 2 JACK STUDS
- 16. PLYWOOD OR OSB FOR SUBFLOOR TO BE 3/4" T&G GLUED AND GUN NAILED
- 17. COLUMNS TO BEAR ON SOLID WOOD BLOCKING AND BE LAG BOLTED WITH 4 5/16" DIAM LAGS, TOP & BOTTOM
- 18. ALL RAFTER TO BEAM, RAFTER TO PLATE CONNECTIONS TO BE METAL CONNECTED W/ SIMPSON H2.5 HURRICANE CLIPS
- 19. RESOLVE CLOUMNS TO FOUNDATION OR BEAM BELOW. SOLID BLOCK ALL CAVITIES FOR CONTINUOUS BEARING.
- 20. METAL CONNECT OR LAG FOR

- CONTINUOUS RESISTANCE TO UPLIFT
- 21. ALL JOIST HANGERS TO BE SIZED TO REACTIONS OF BEAMS OR JOIST
- 22. PRESSURE TREATED WOOD TO BE USED AT ALL WOOD TO CONCRETE CONTACT
- 23. PROVIDE SHOP DRAWINGS OF WOOD FRAME STRUCTURE TO ARCHITECT FOR APPROVAL
- 24. PROVIDE BRIDGING AT ALL SPANS OVER 10'

ENERGY REQUIRMENTS

- 1. HOME ENERGY RATER REQUIRED FOR NEW CONSTRUCTION AND SHALL BE RESPONSIBLE FOR INSULATION SPECIFICATIONS
- 2. MINIMUM ENERGY RATINGS FOR COMPONENTS TO BE:

FENESTRATION .35 U MIN.
CEILING R49
WOOD FRAME WALLS R20
FLOOR OVER UNCONDITIONED SPACE R30
BASEMENT WALL R10, WHERE ENCLOSING FINISHED SPACE TO BE 2" RIGID CONTINUOUS INSULATION WITH TAPED JOINTS. PLACE STUDS FLAT OVER THE CONTINUOUS INSULATION. PT AT CONTACT WITH SLAB.

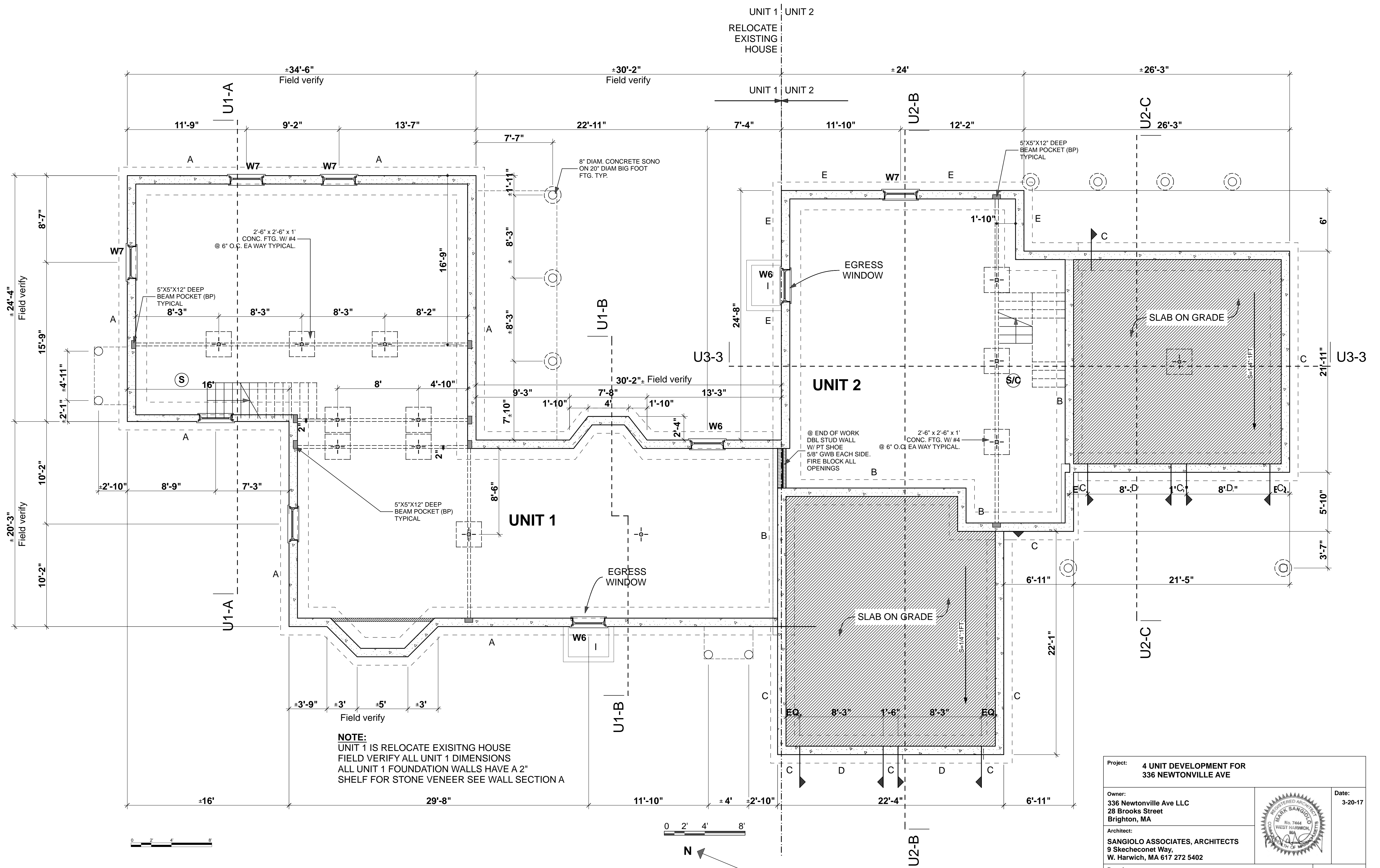


EXISITNG HOME TO BE MOVED TOWARD STREET

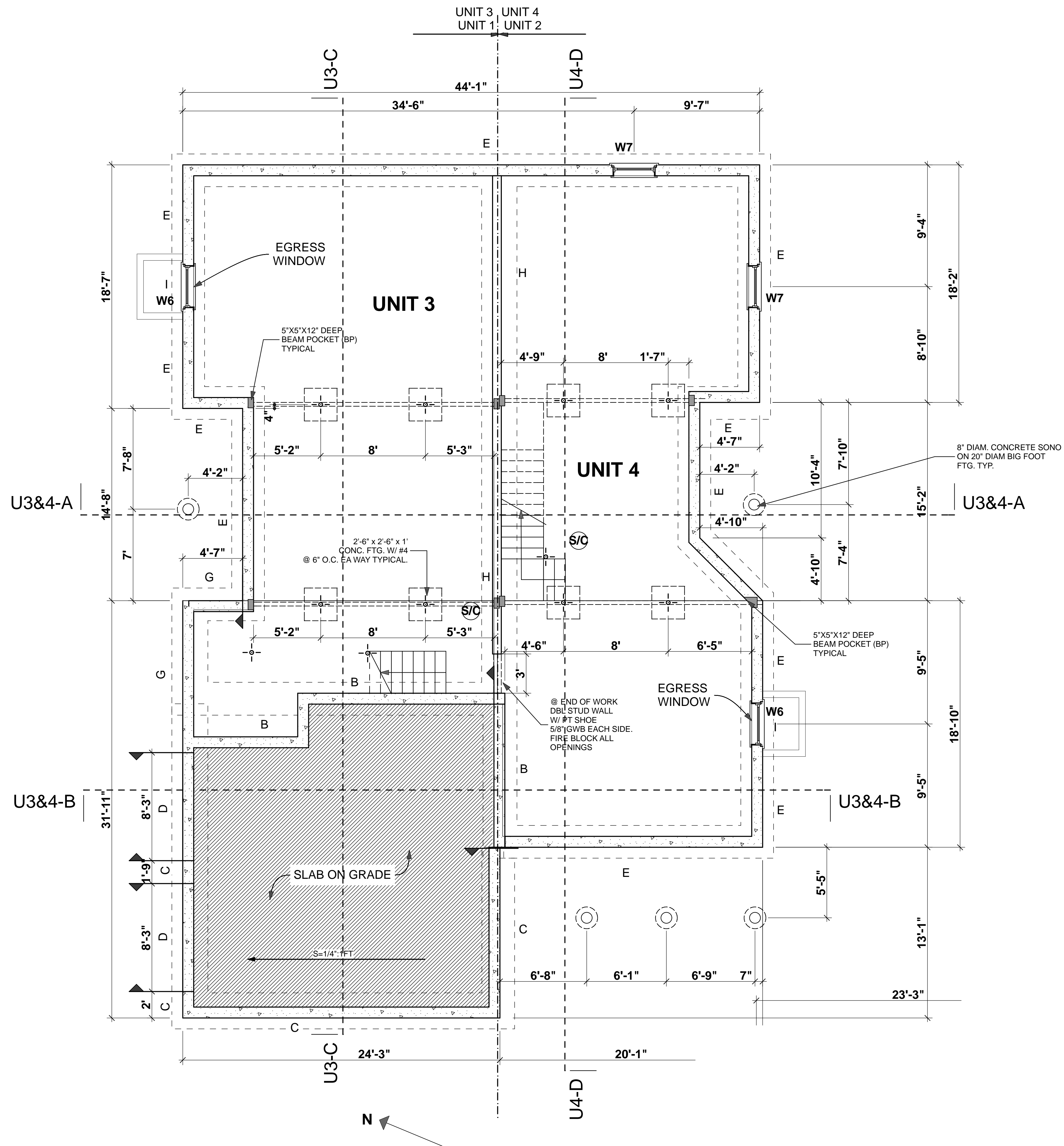
DRAWING LIST:

- T1 - COVER SHEET
- A1 - FOUNDATION PLAN UNITS 1&2
- A2 - FOUNDATION PLAN UNITS 3&4
- A3 - FOUNDATION WALLS
- A4 - FIRST FLOOR PLAN UNITS 1&2
- A5 - FIR ST FLOOR PLAN UNITS 3&4
- A6 - SECOND FLOOR PLAN UNITS 1&2
- A7 - SECOND FLOOR PLAN UNITS 3&4
- A8 - ELEVATIONS 1
- A9 - ELEVATIONS 2
- A10 FRAMING UNITS 1&2
- A11 FRAMING UNITS 3&4
- A12 ROOF PLANS
- A13 SECTIONS UNIT 1
- A14 SECTIONS UNIT 2
- A15 SECTIONS UNIT 3&4
- A16 SECTION UNIT 4
- A17 DEMISING WALL, WALL SECTION & DETAILS
- A18 FIRE DETECTION BASEMENT & FIRST FLOOR
- A19 FIRE DETECTION SECOND FLOOR & ATTIC

Project: 4 UNIT DEVELOPMENT FOR 336 NEWTONVILLE AVE		
Owner: 336 Newtonville Ave LLC 28 Brooks Street Brighton, MA		Date: 3-20-17
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 617 272 5402		
Drawing:	NOTES & COVER SHEET	T1

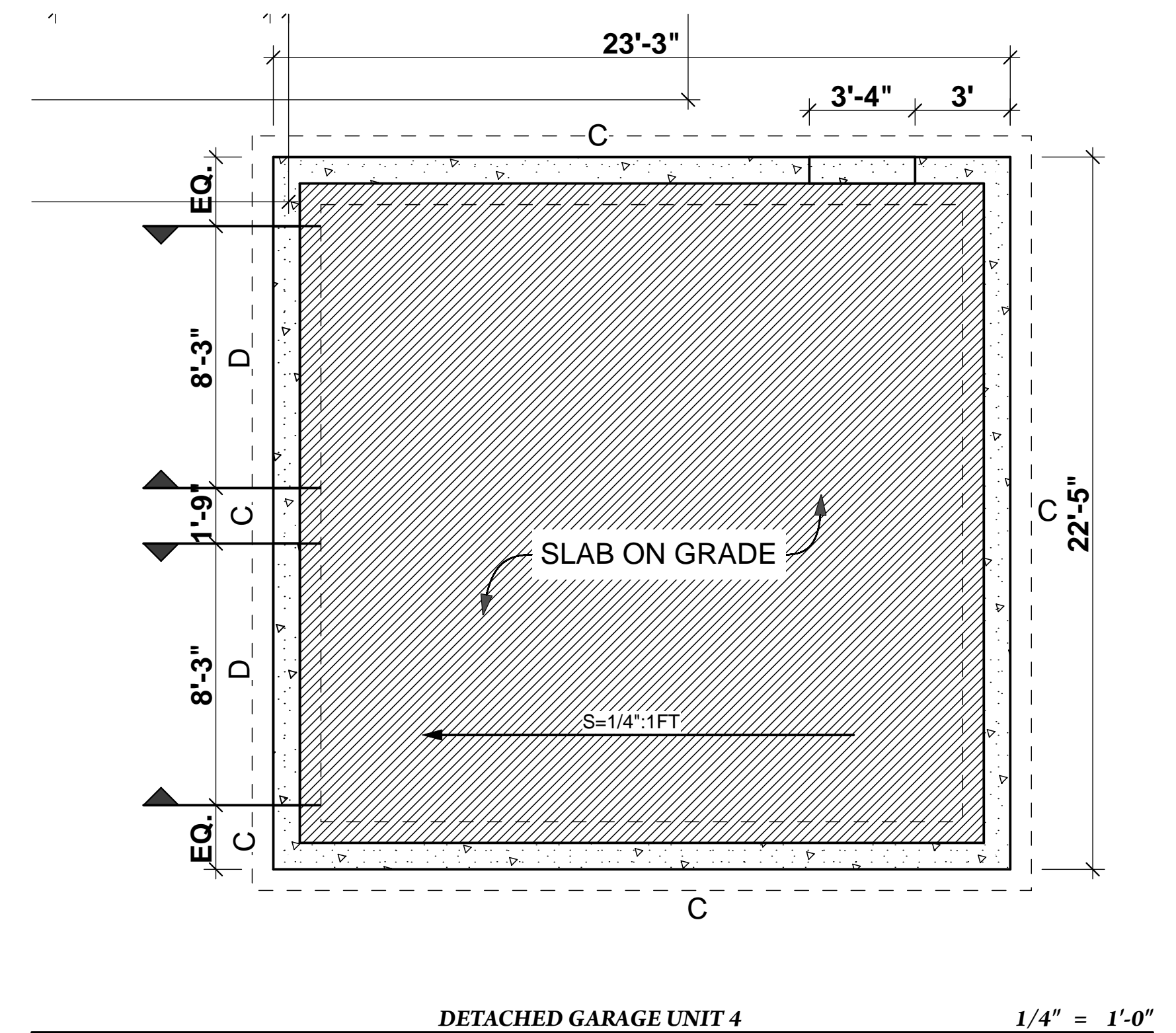


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Drawing: FOUNDATION PLAN UNITS 1&2		A1



UNIT 3&4 FOUNDATION PLAN

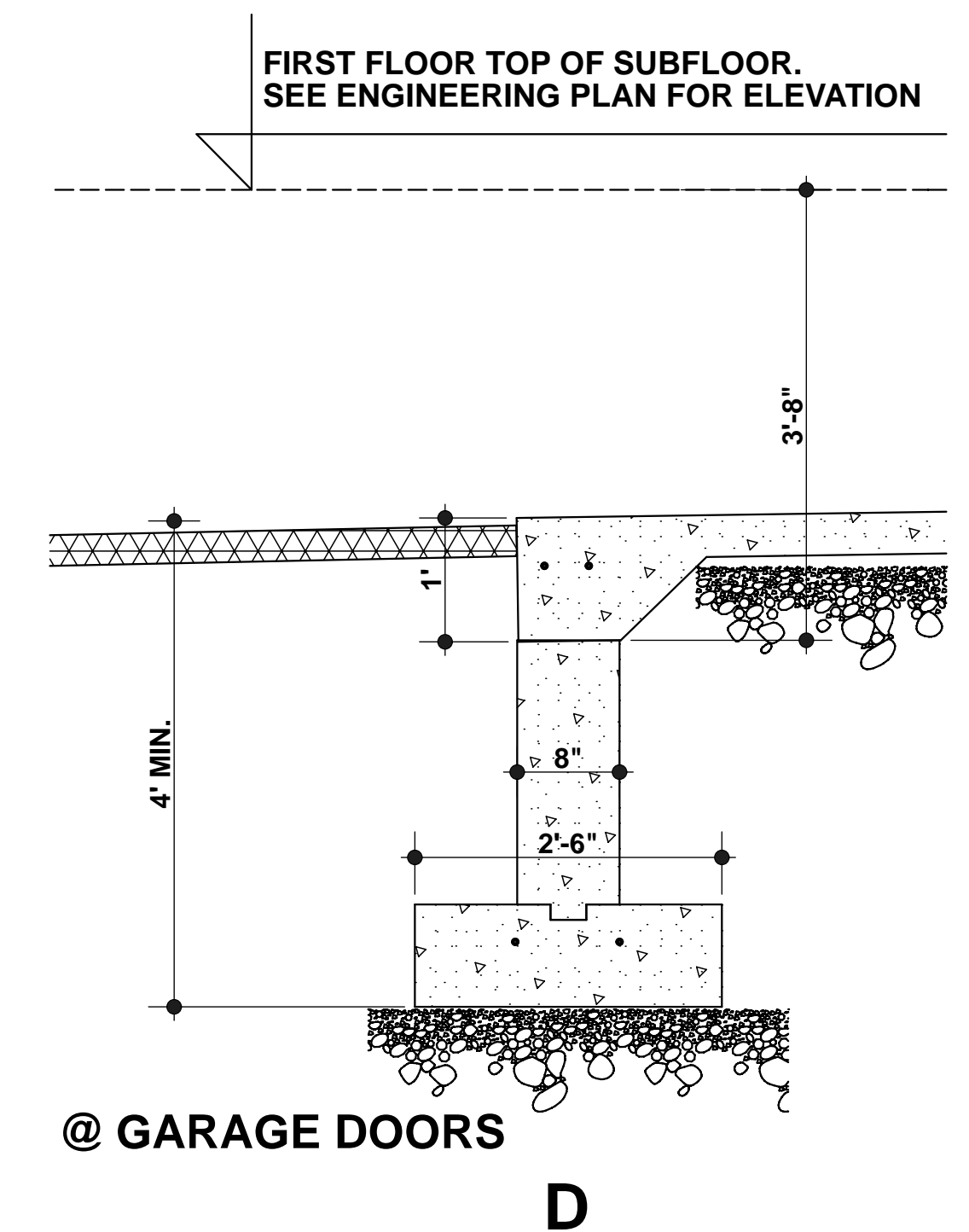
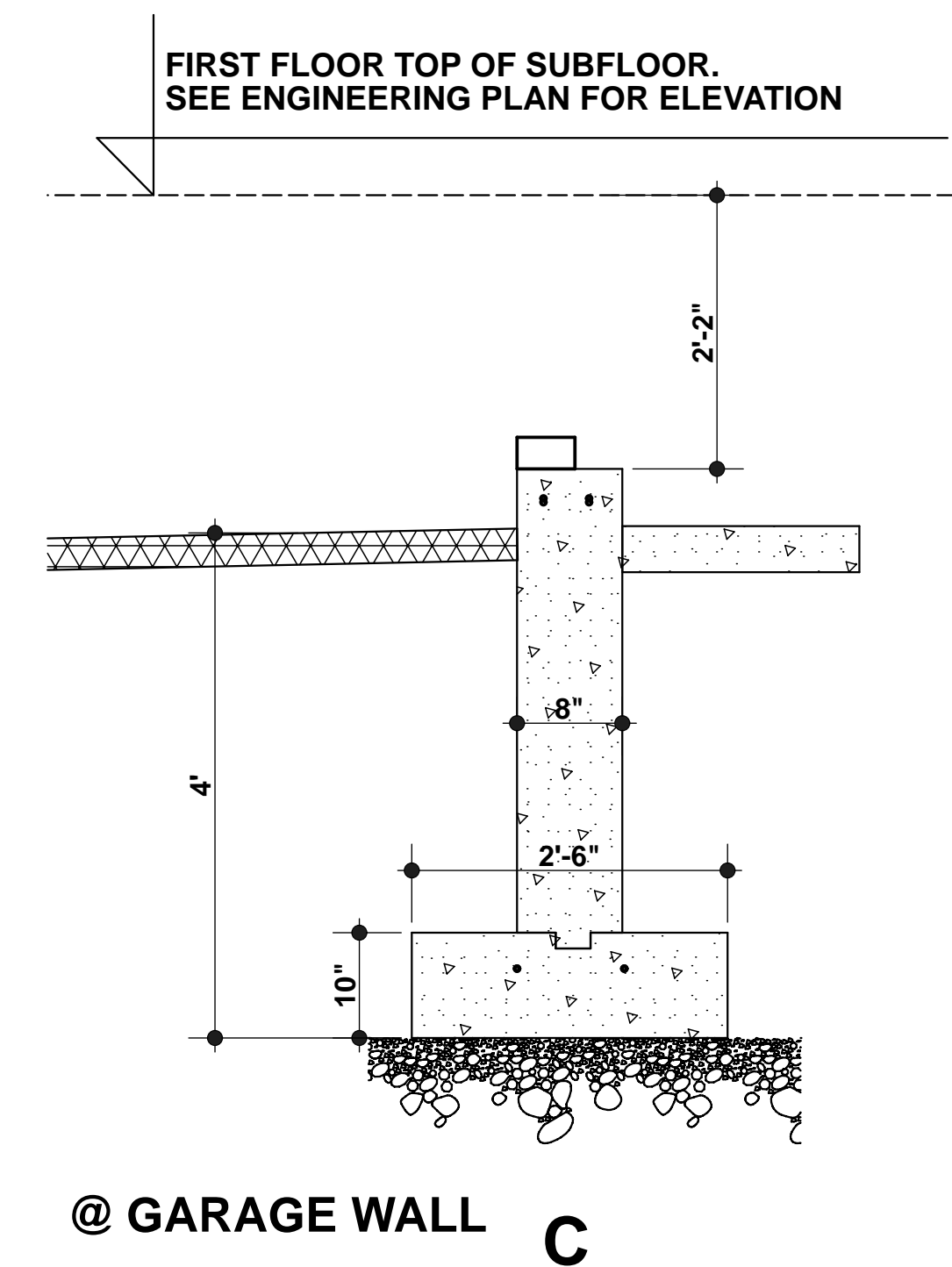
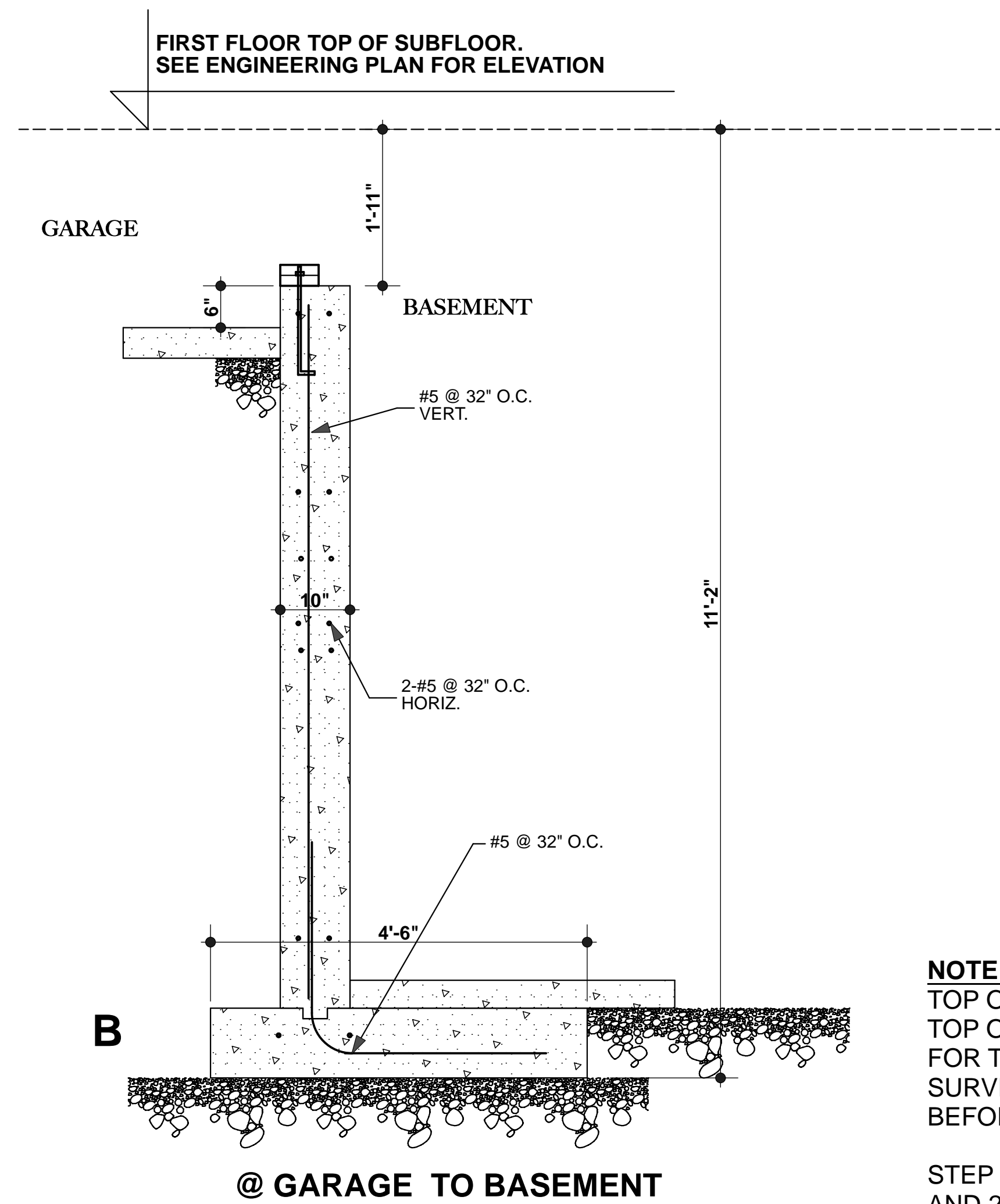
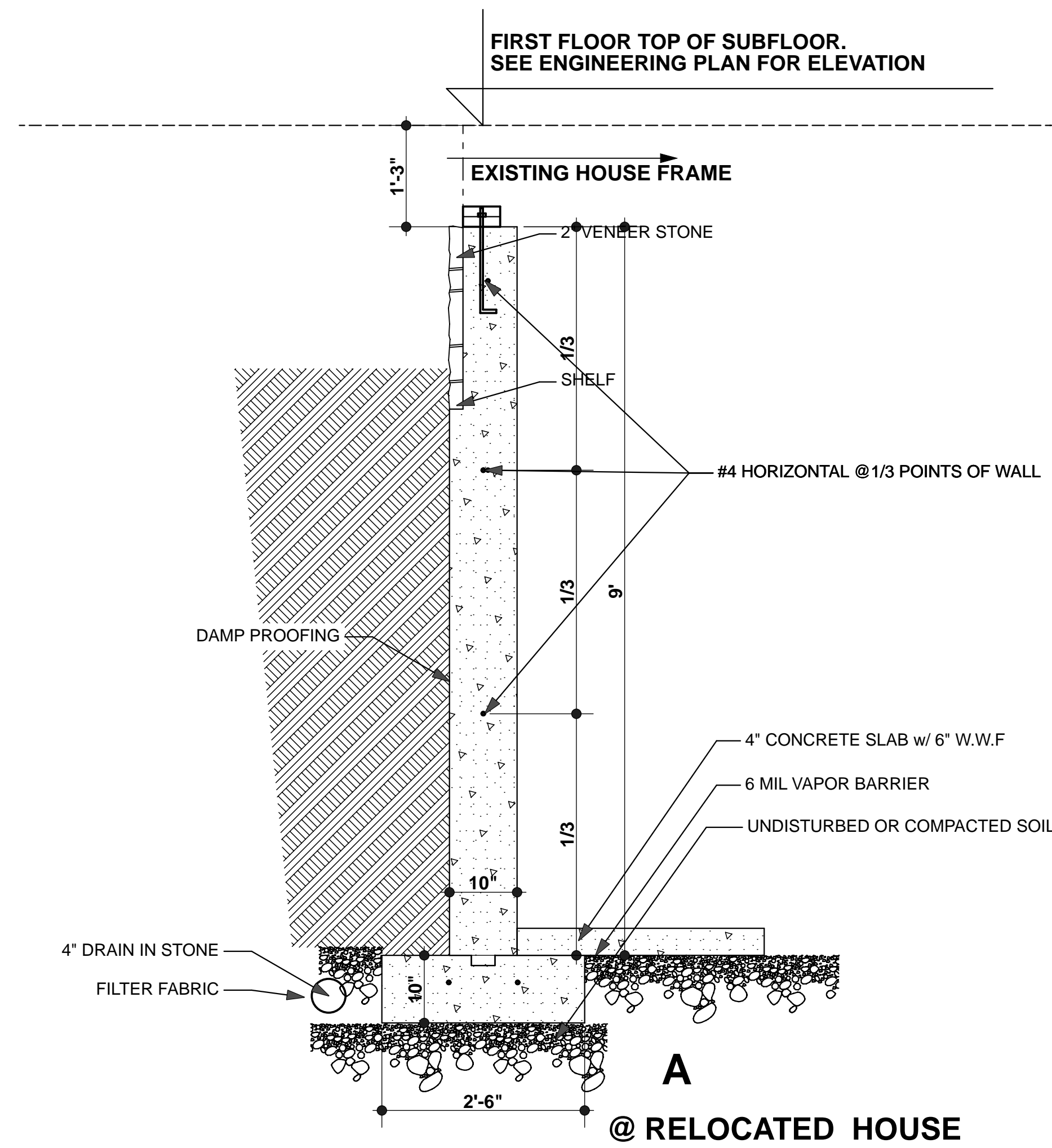
1/4" = 1'-0"



DETACHED GARAGE UNIT 4

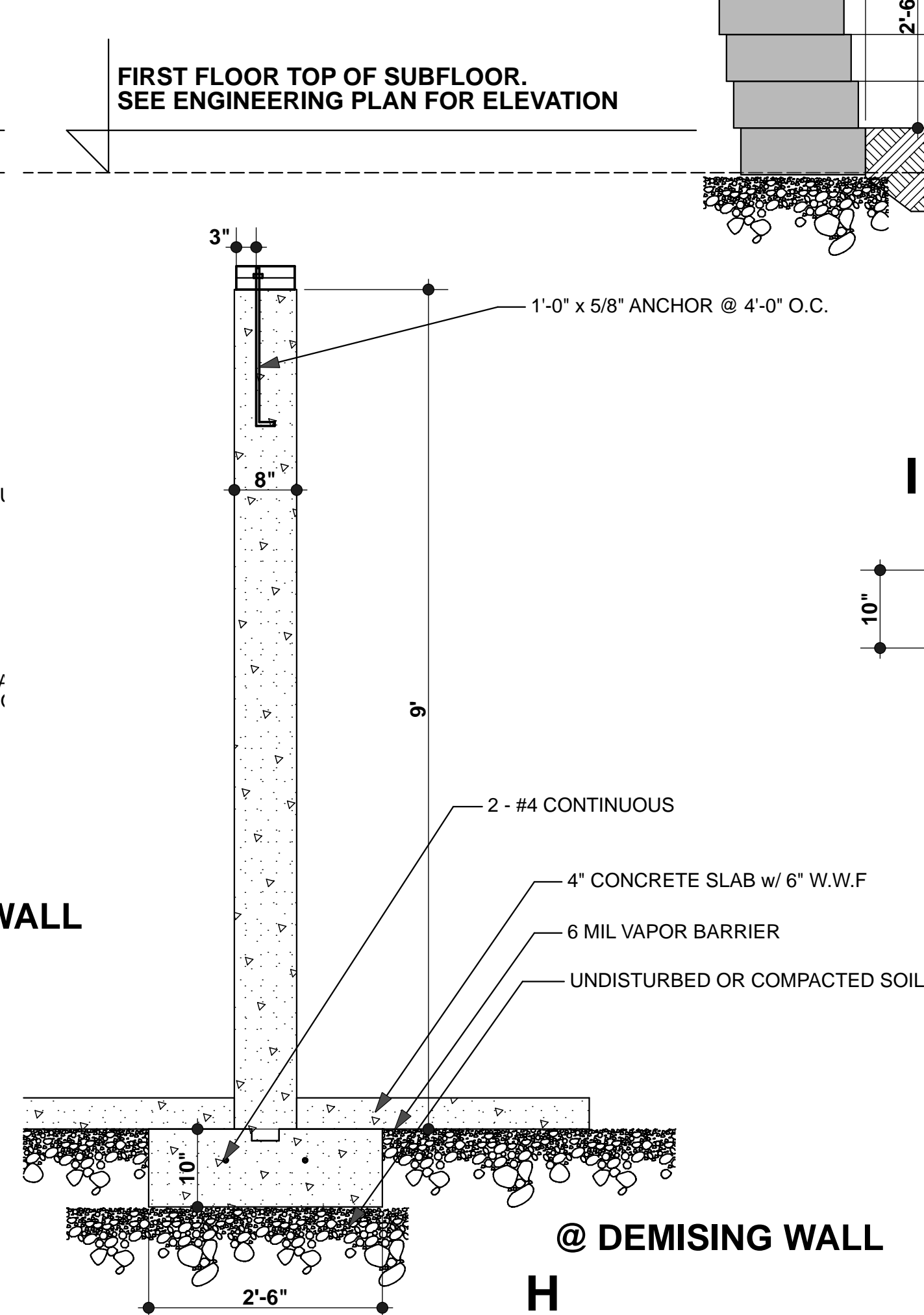
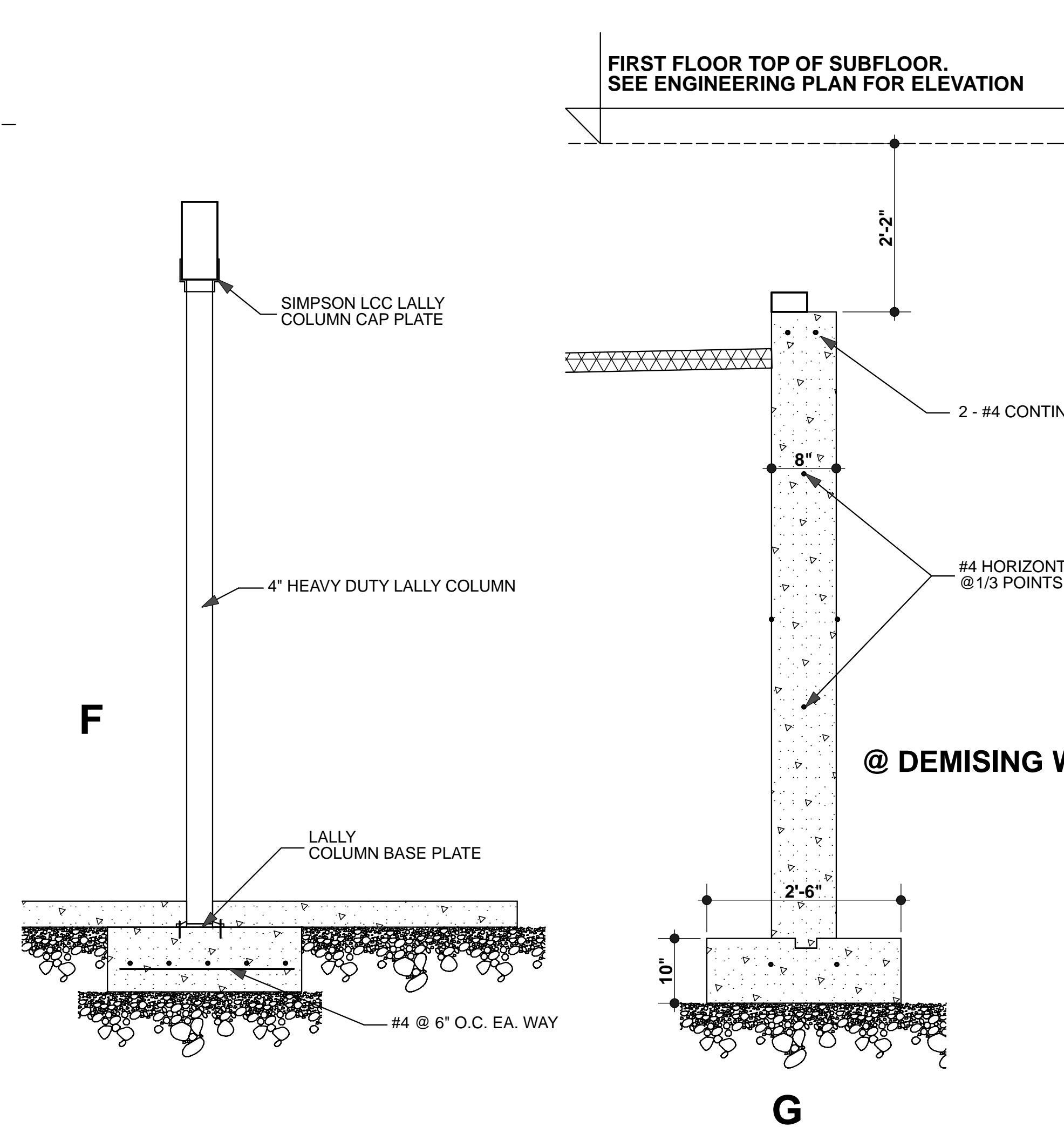
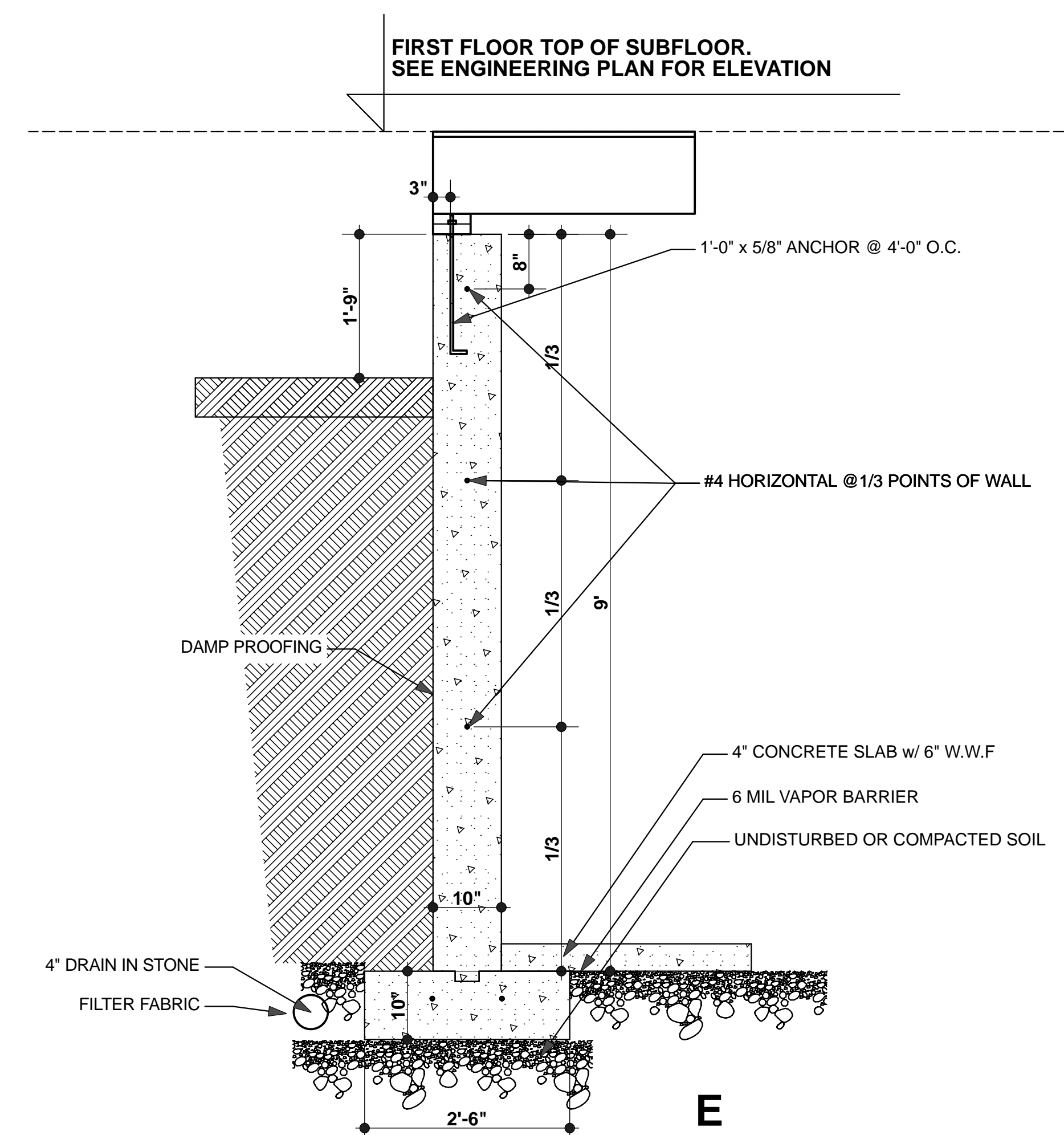
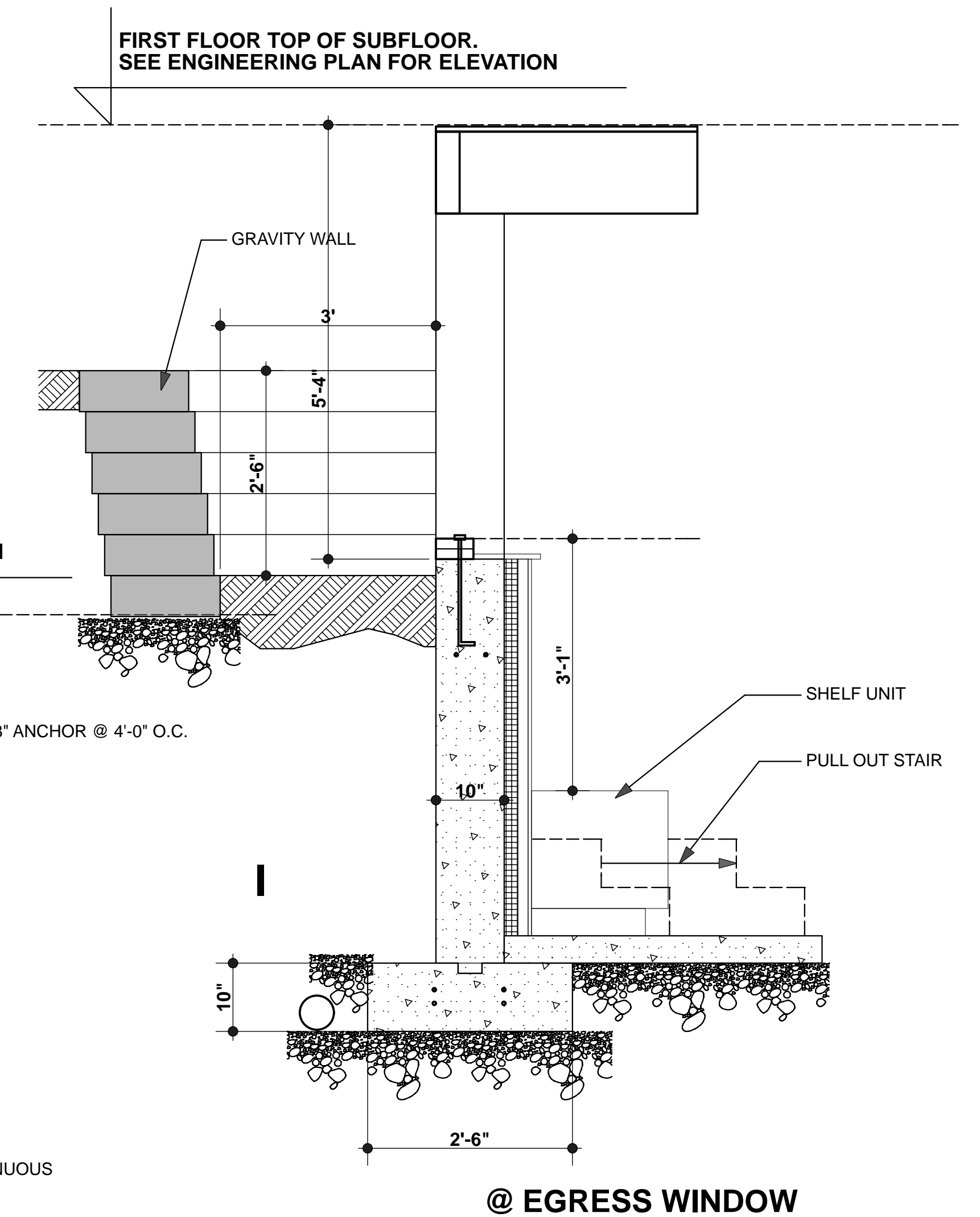
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Drawing:	FOUNDATION PLAN UNITS 3&4	A2

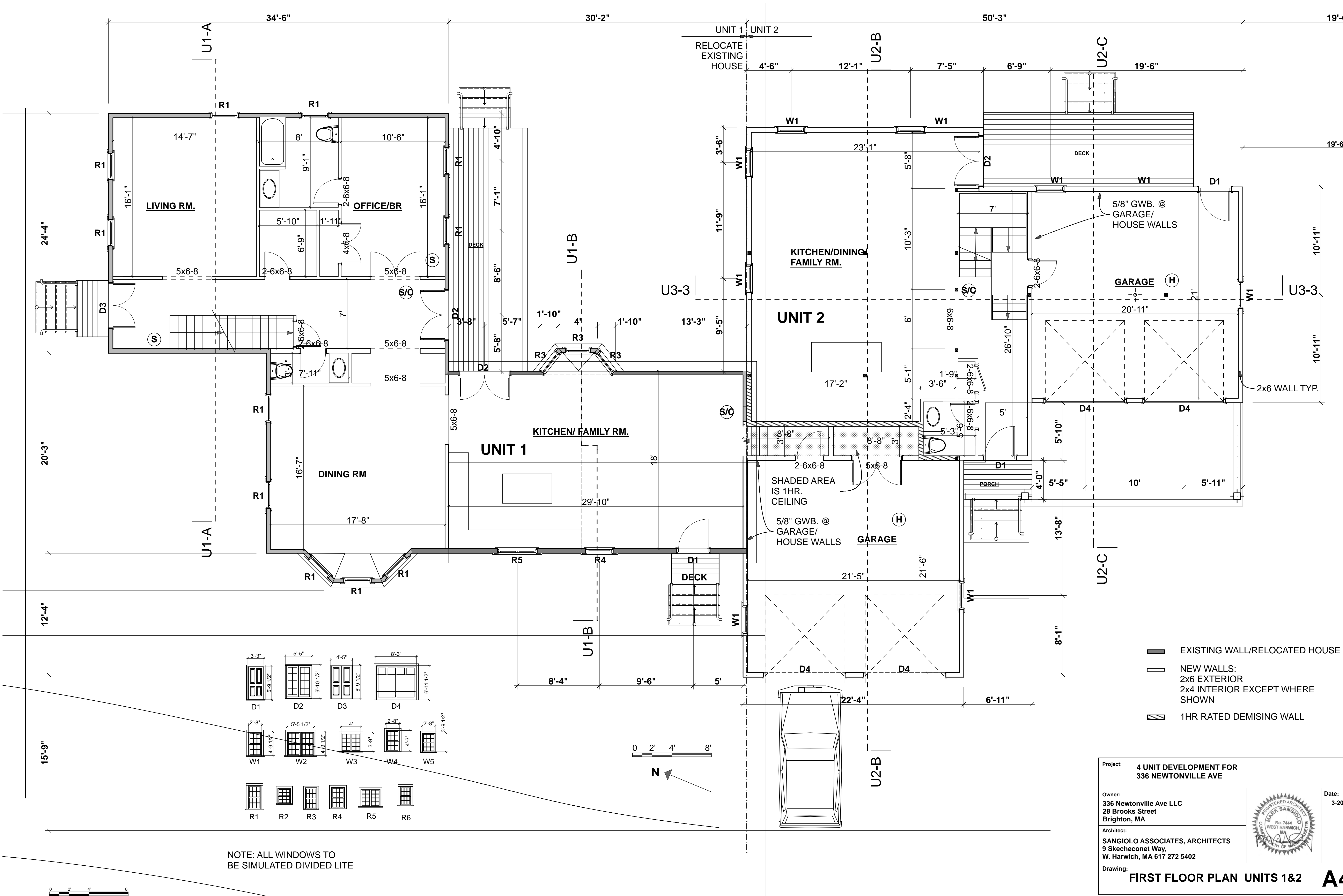


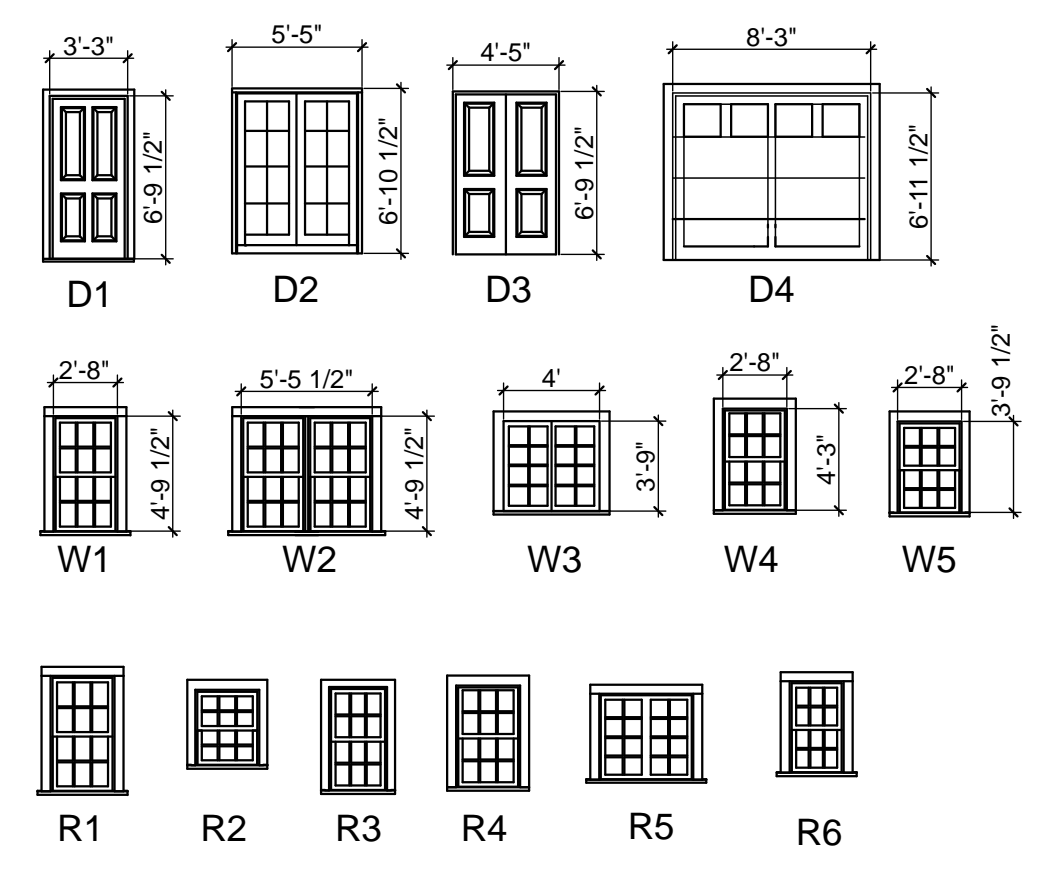
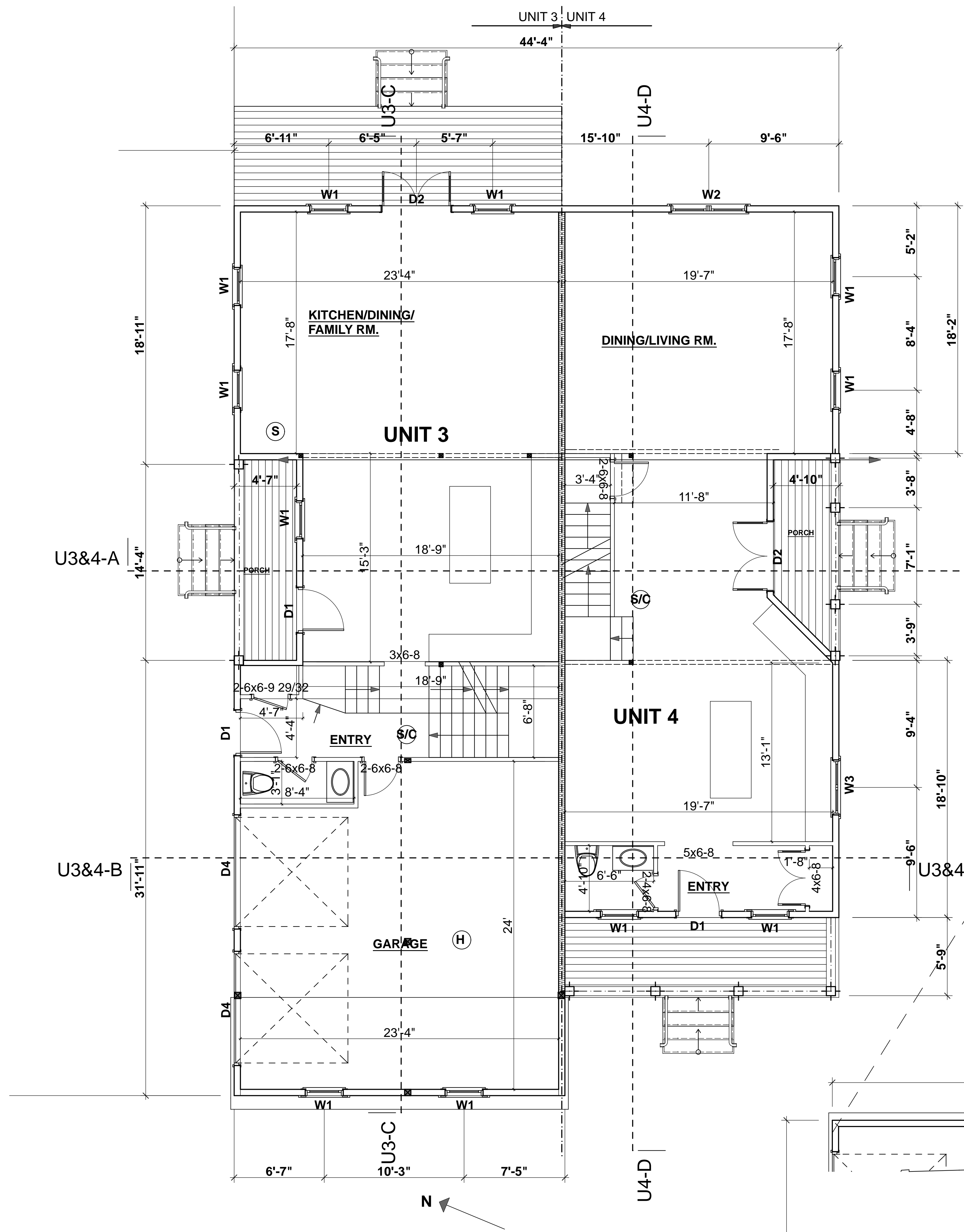
NOTE:
TOP OF FOUNDATION WALL IS DIMENSIONED FROM TOP OF FIRST FLOOR. SEE SURVEYOR DRAWINGS FOR TOP OF FIRST FLOOR ELEVATIONS. SURVEYOR MUST LOCATE BENCHMARK ON SITE BEFORE CONCRETE IS PLACED.

STEP FOOTINGS TO BE 4' HORIZONTAL MINIMUM AND 2' VERTICAL MAXIMUM

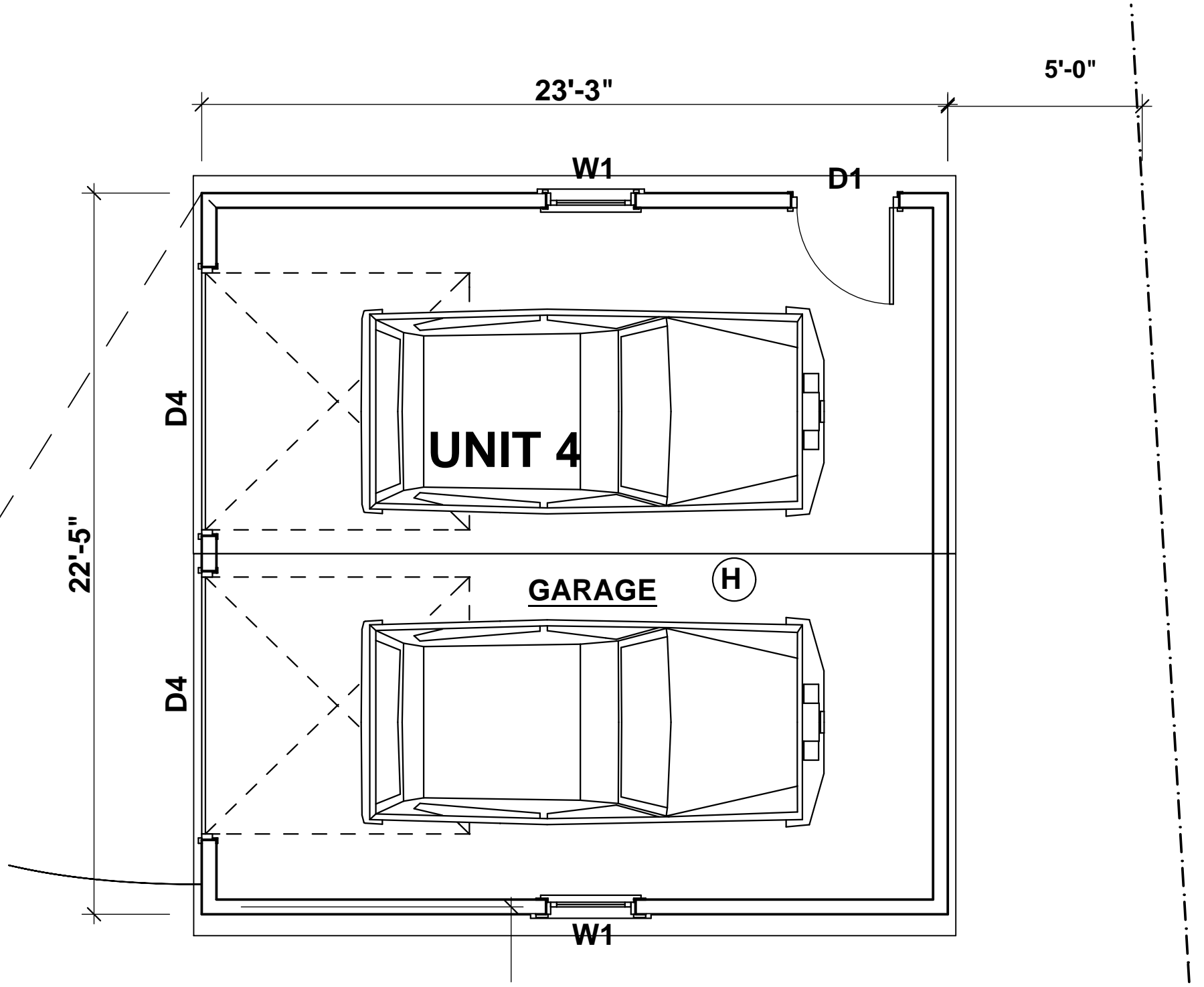


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Drawing: FOUNDATION WALLS	A3	



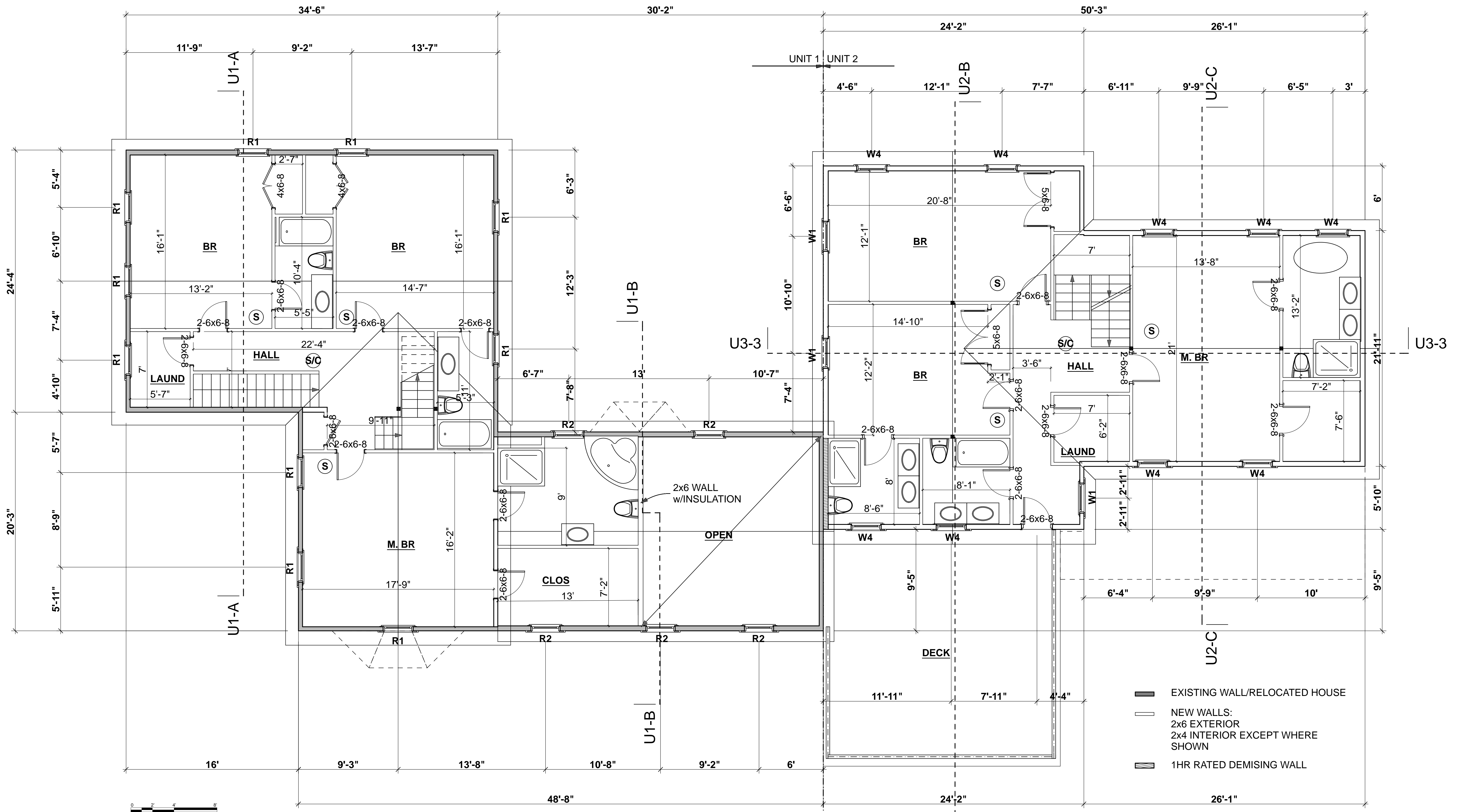


NOTE: ALL WINDOWS TO BE SIMULATED DIVIDED LITE

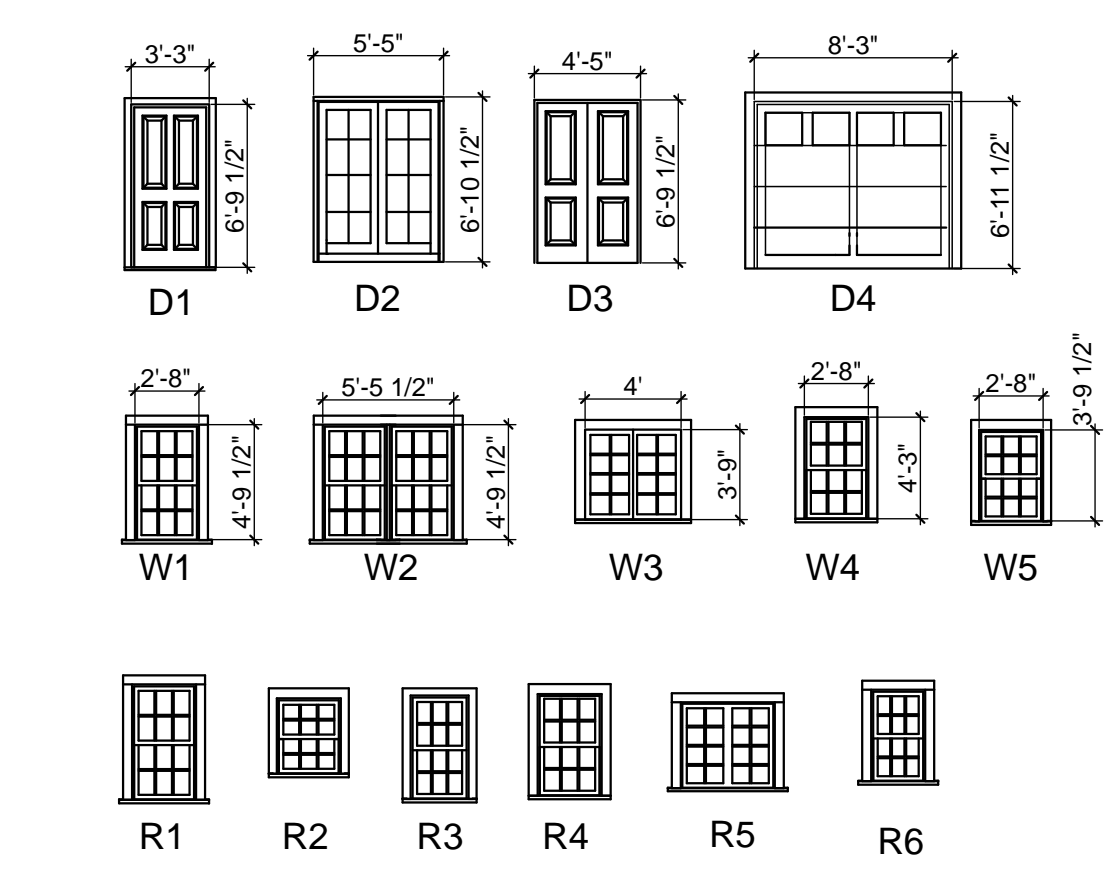
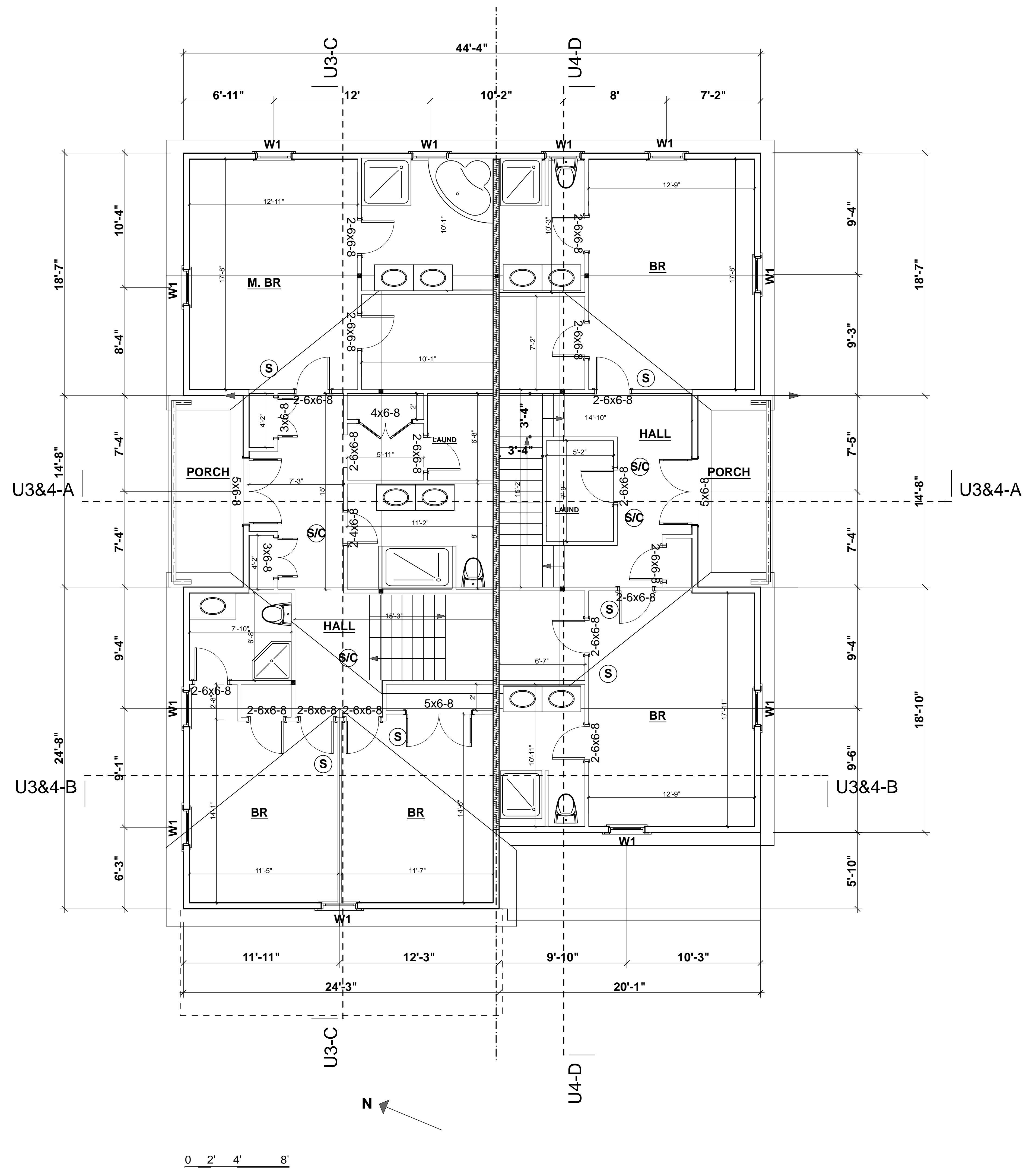


- EXISTING WALL/RELOCATED HOUSE
- NEW WALLS:
2x6 EXTERIOR
2x4 INTERIOR EXCEPT WHERE SHOWN
- 1HR RATED DEMISING WALL

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Drawing: FIRST FLOOR PLAN UNITS 3&4		A5	



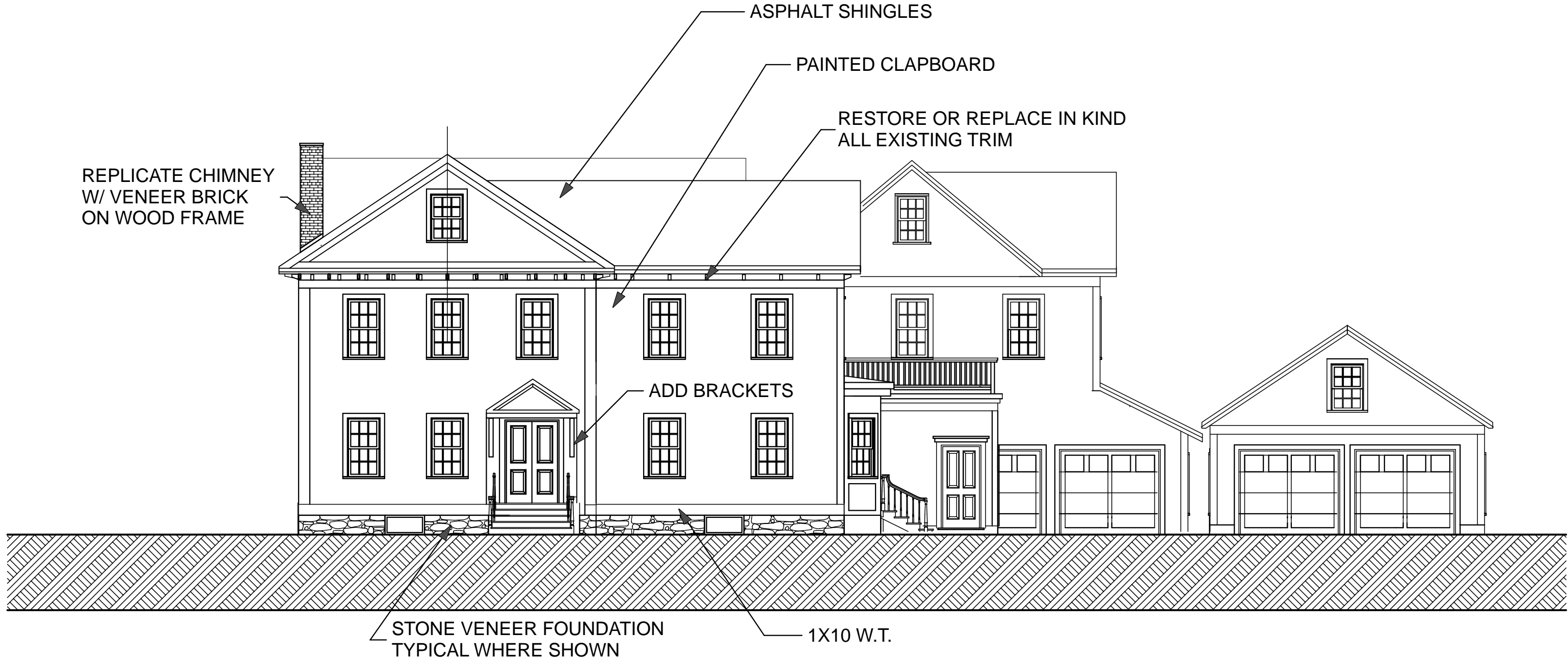
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Owner: 336 Newtonville Ave LLC 28 Brooks Street Brighton, MA	Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		
Drawing: SECOND FLOOR PLAN UNITS 1&2		A6	



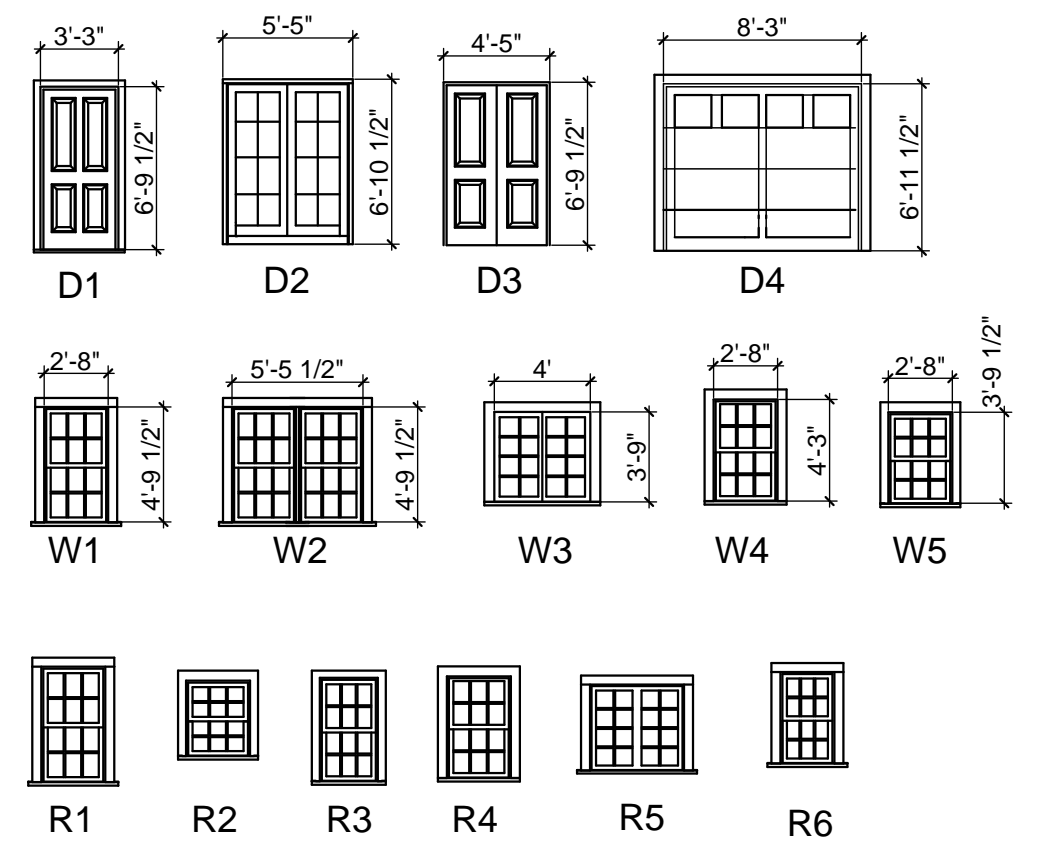
NOTE: ALL WINDOWS TO
BE SIMULATED DIVIDED LITE

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2x6 EXTERIOR
2x4 INTERIOR EXCEPT WHERE
SHOWN
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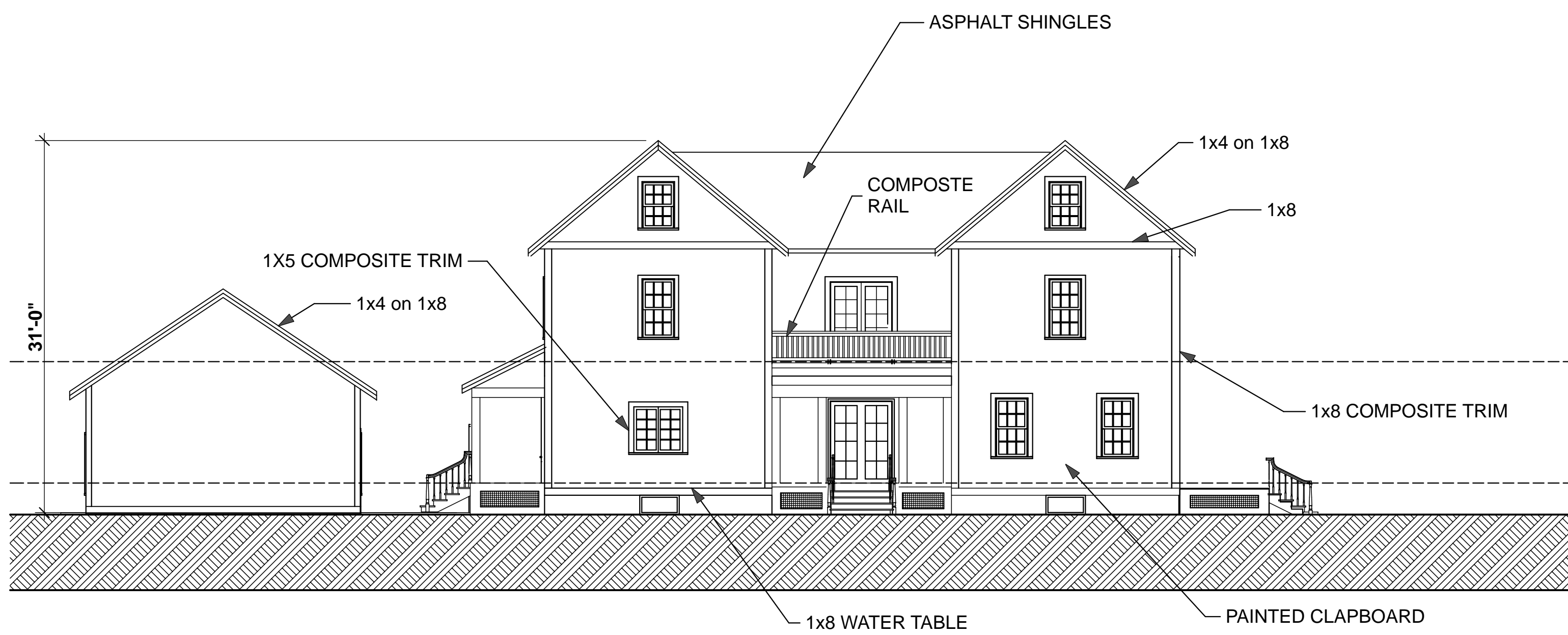
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Drawing: SECOND FLOOR PLAN UNITS 3&4		A7



NORTH (STREET) ELEVATION

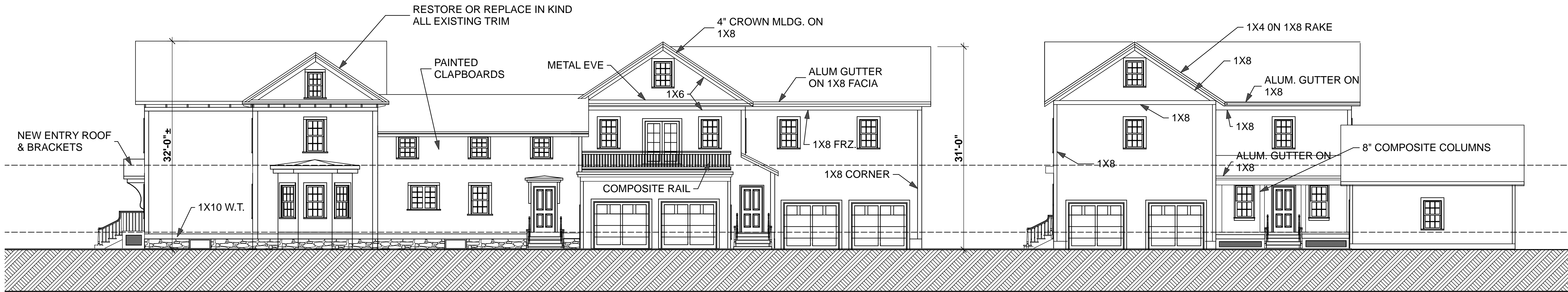


NOTE: ALL WINDOWS TO
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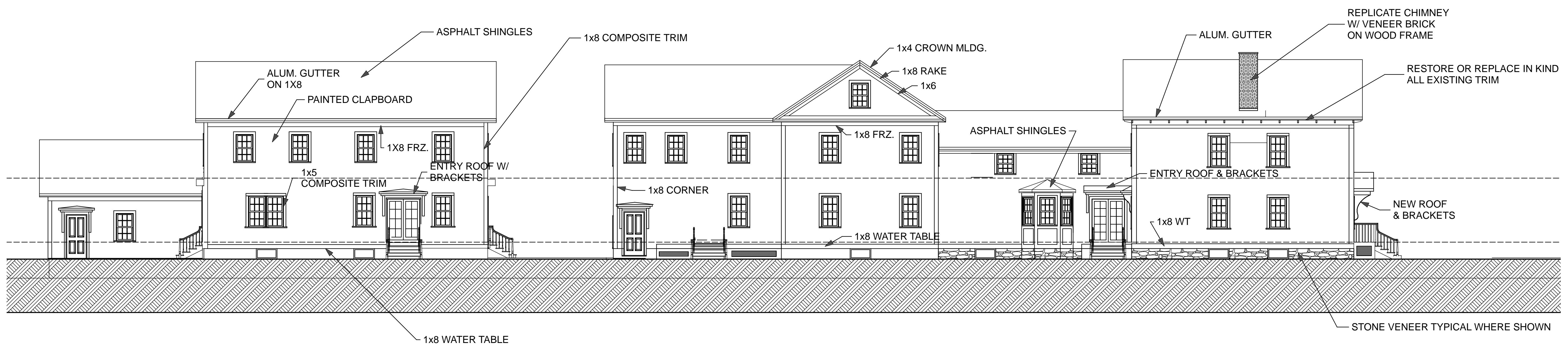


SOUTH ELEVATION

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Drawing: ELEVATIONS		A8



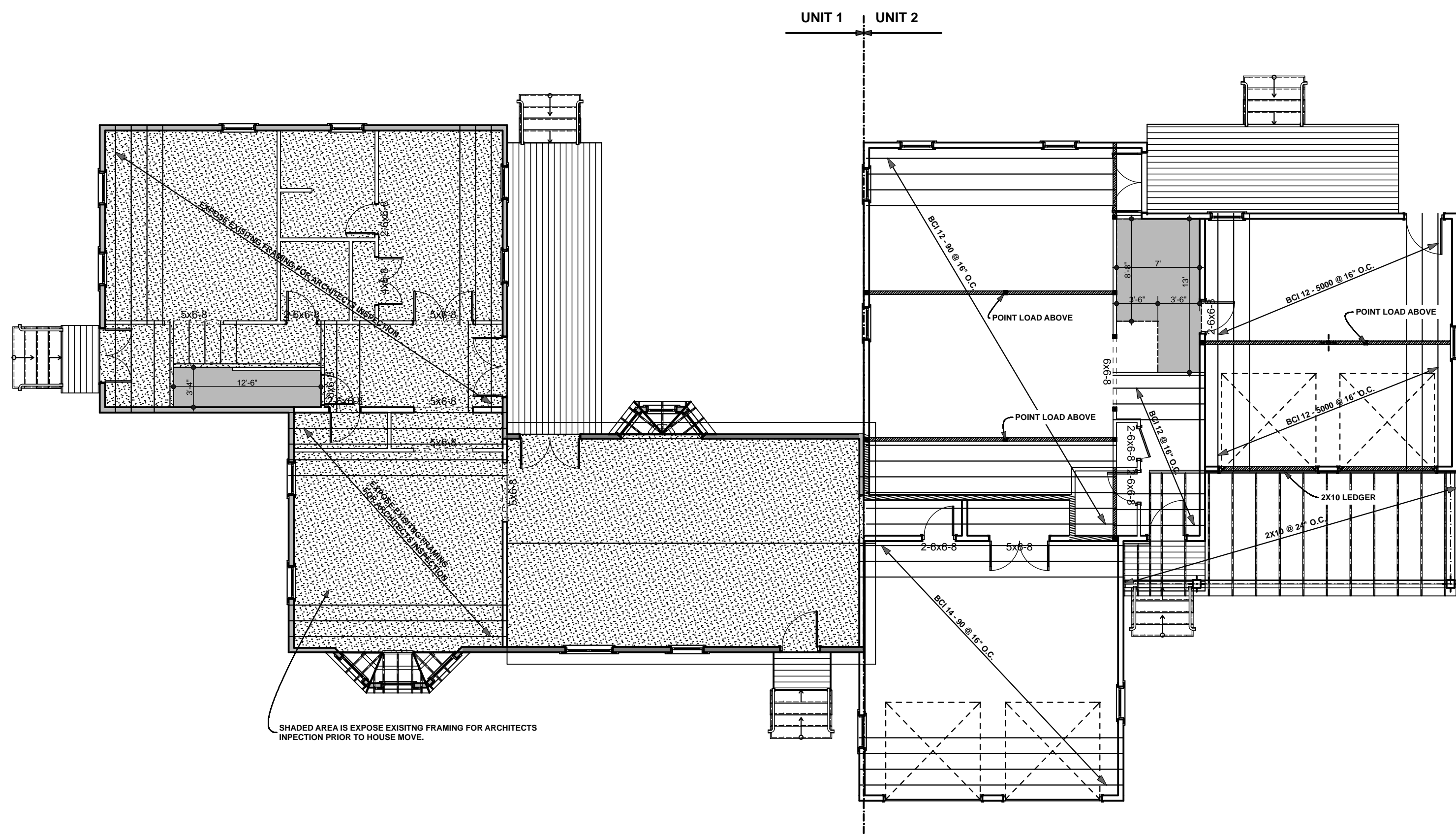
WEST ELEVATION



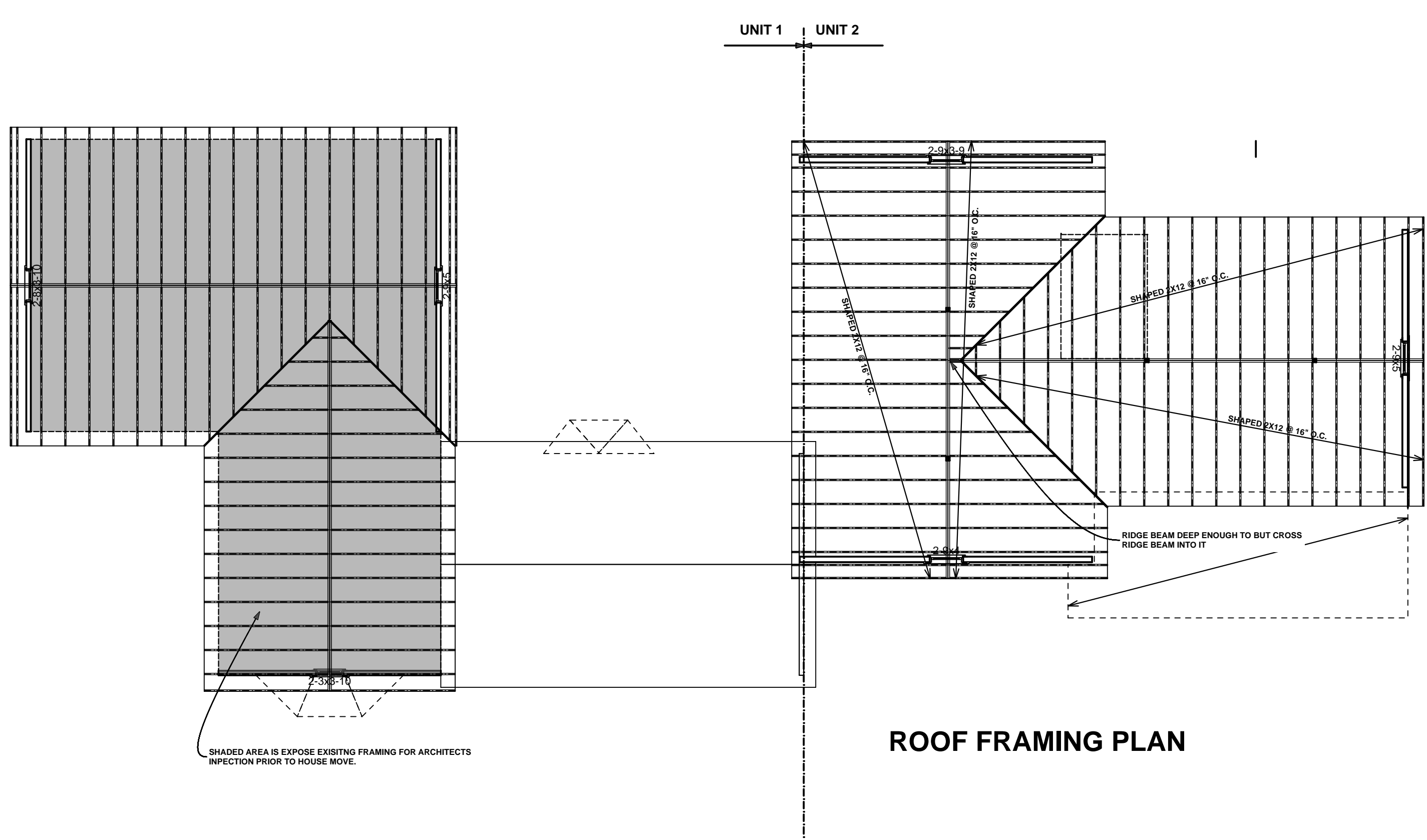
EAST ELEVATION

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Drawing:	ELEVATIONS	

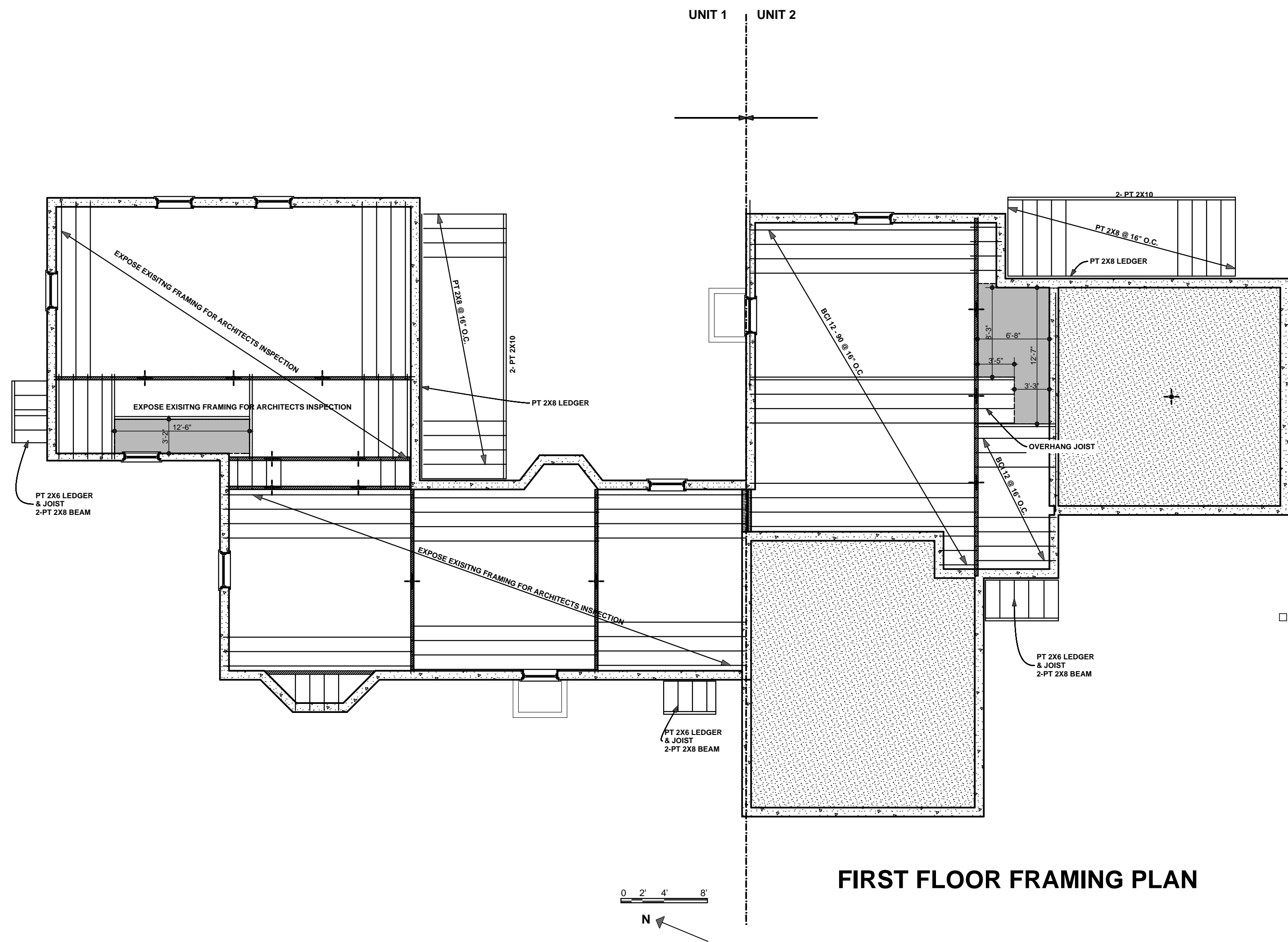
A9



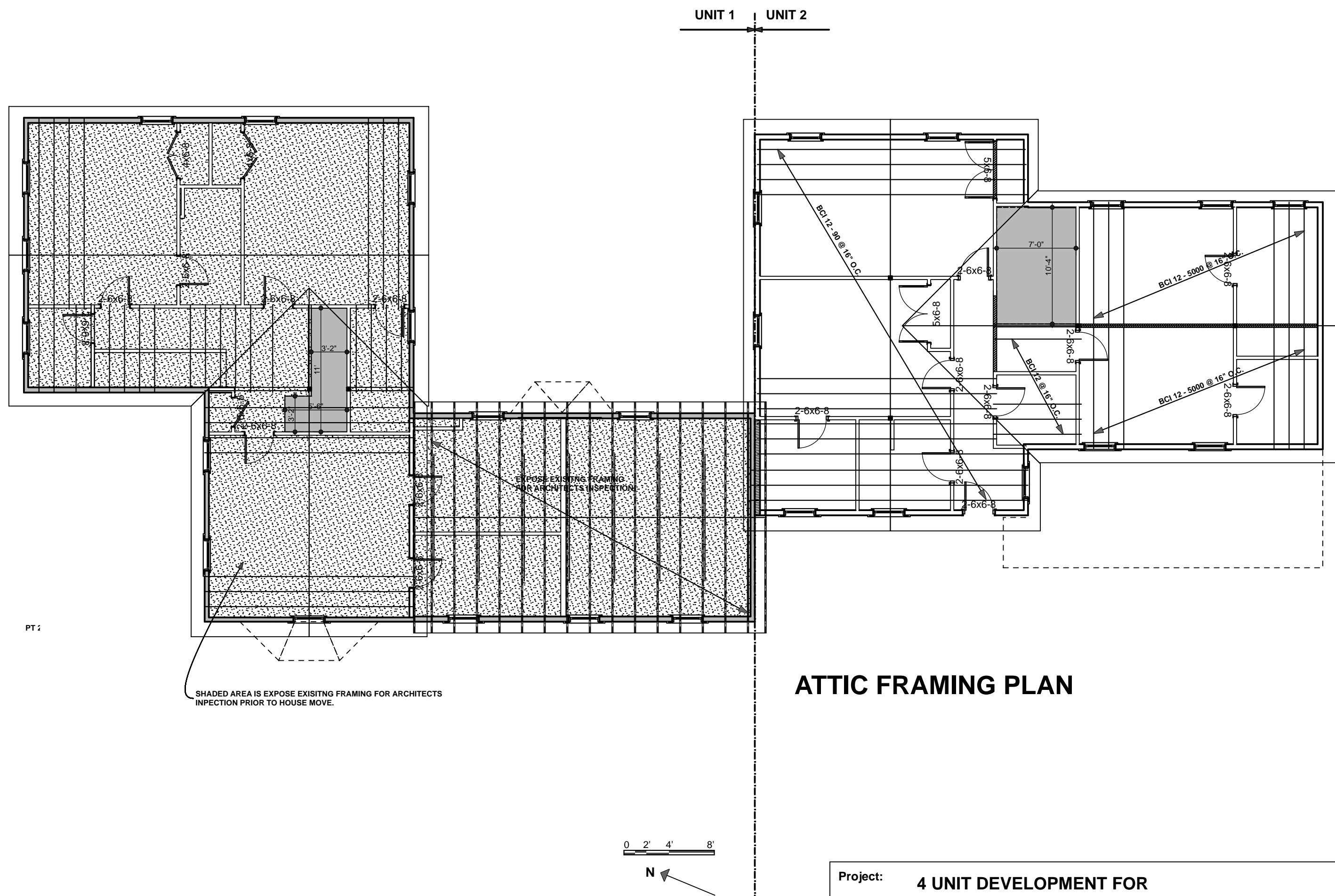
SECOND FLOOR FRAMING PLAN



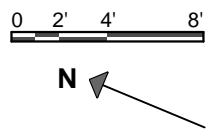
ROOF FRAMING PLAN



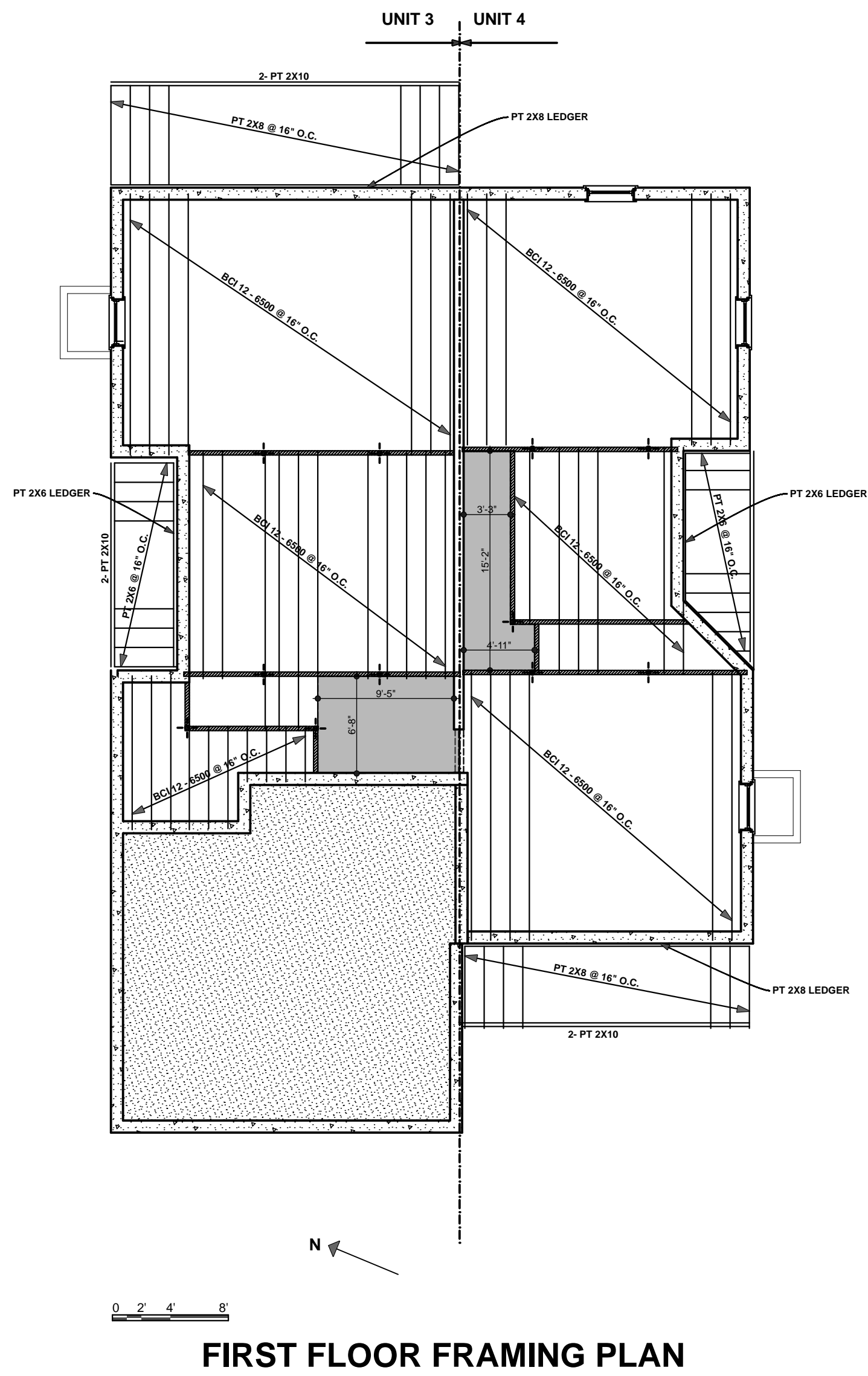
FIRST FLOOR FRAMING PLAN



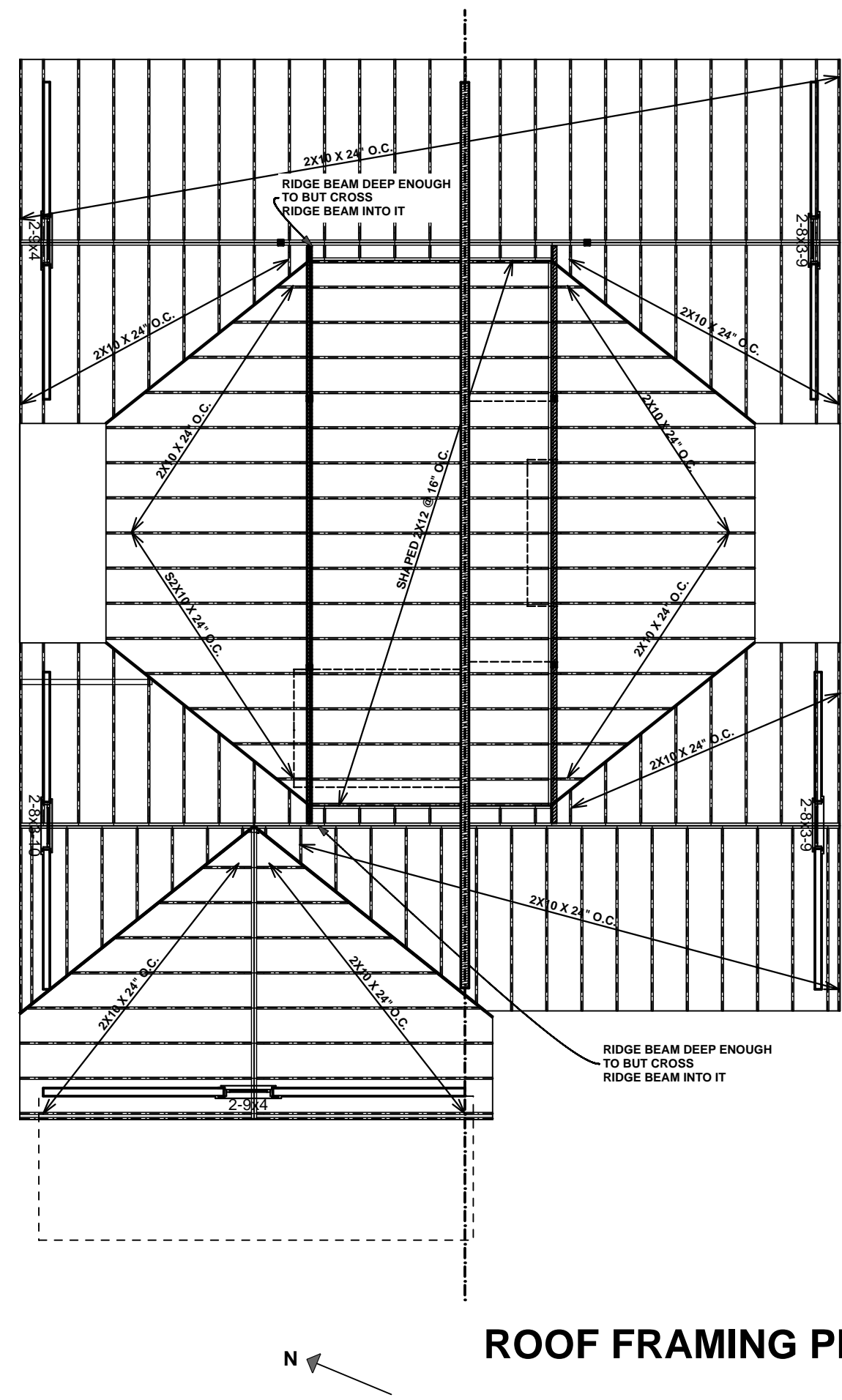
ATTIC FRAMING PLAN



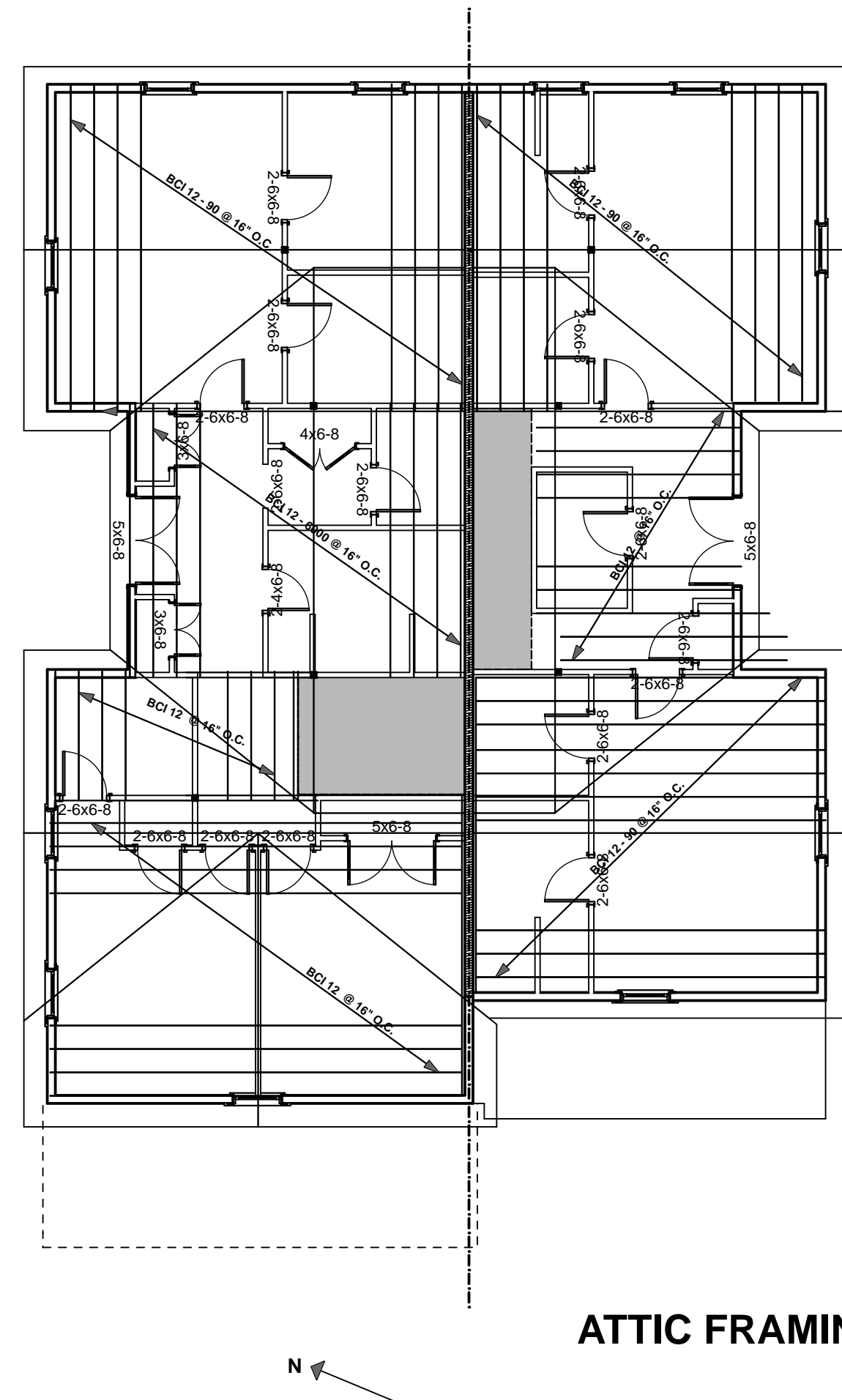
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Drawing:		A10
FRAMING PLANS UNITS 1&2		



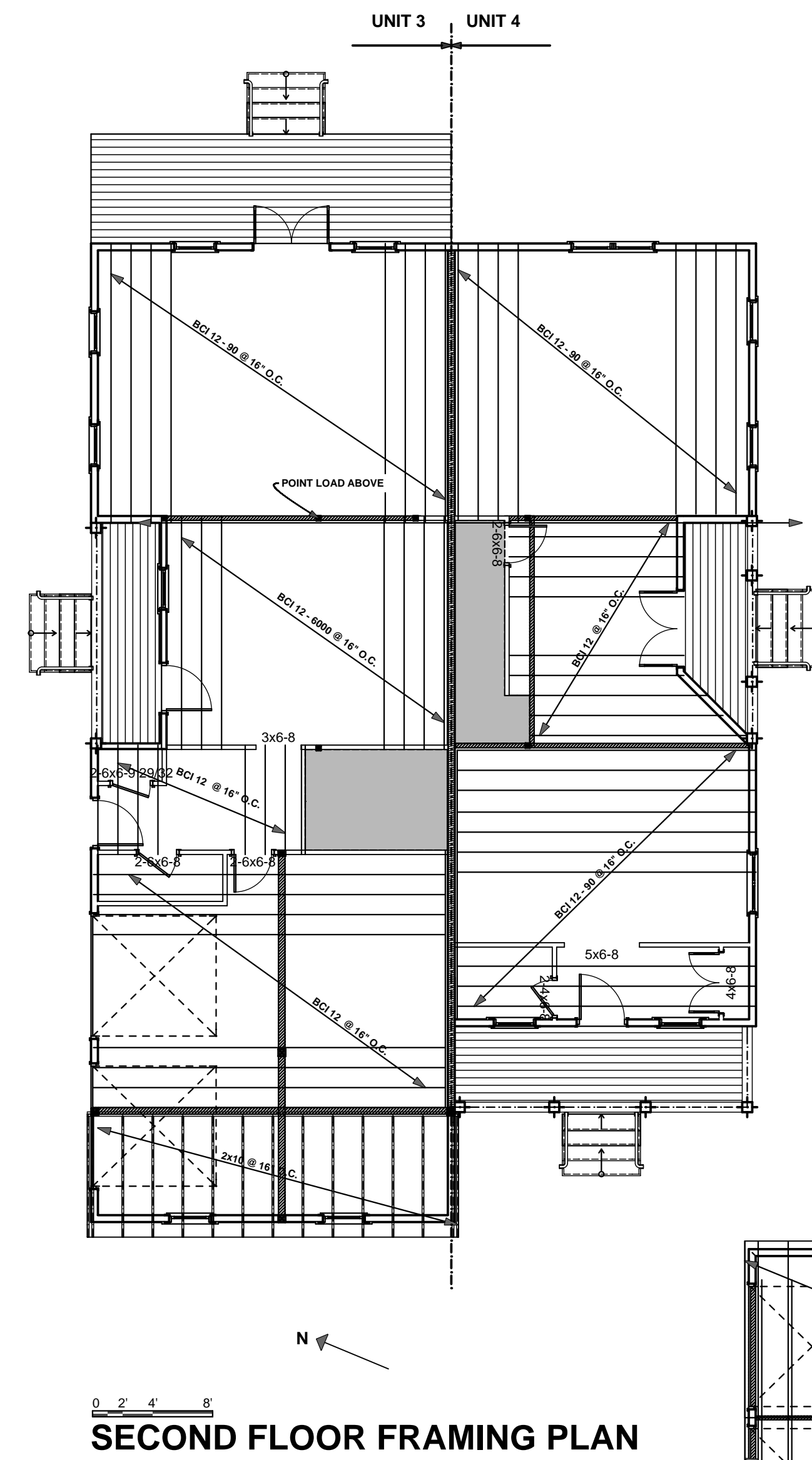
FIRST FLOOR FRAMING PLAN



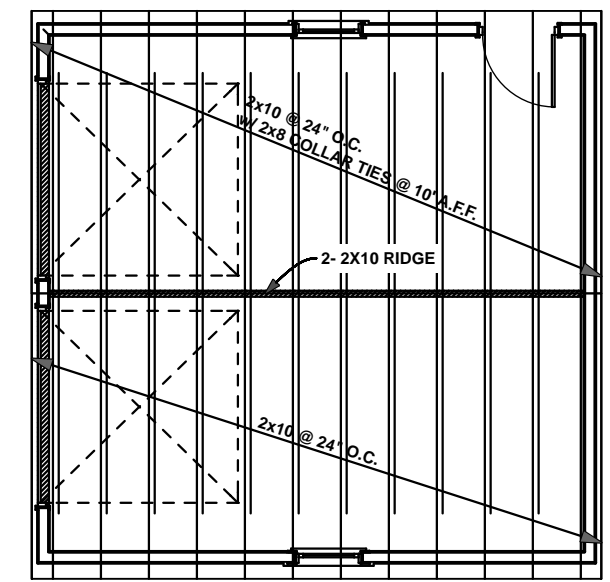
ROOF FRAMING PLAN



ATTIC FRAMING PLAN

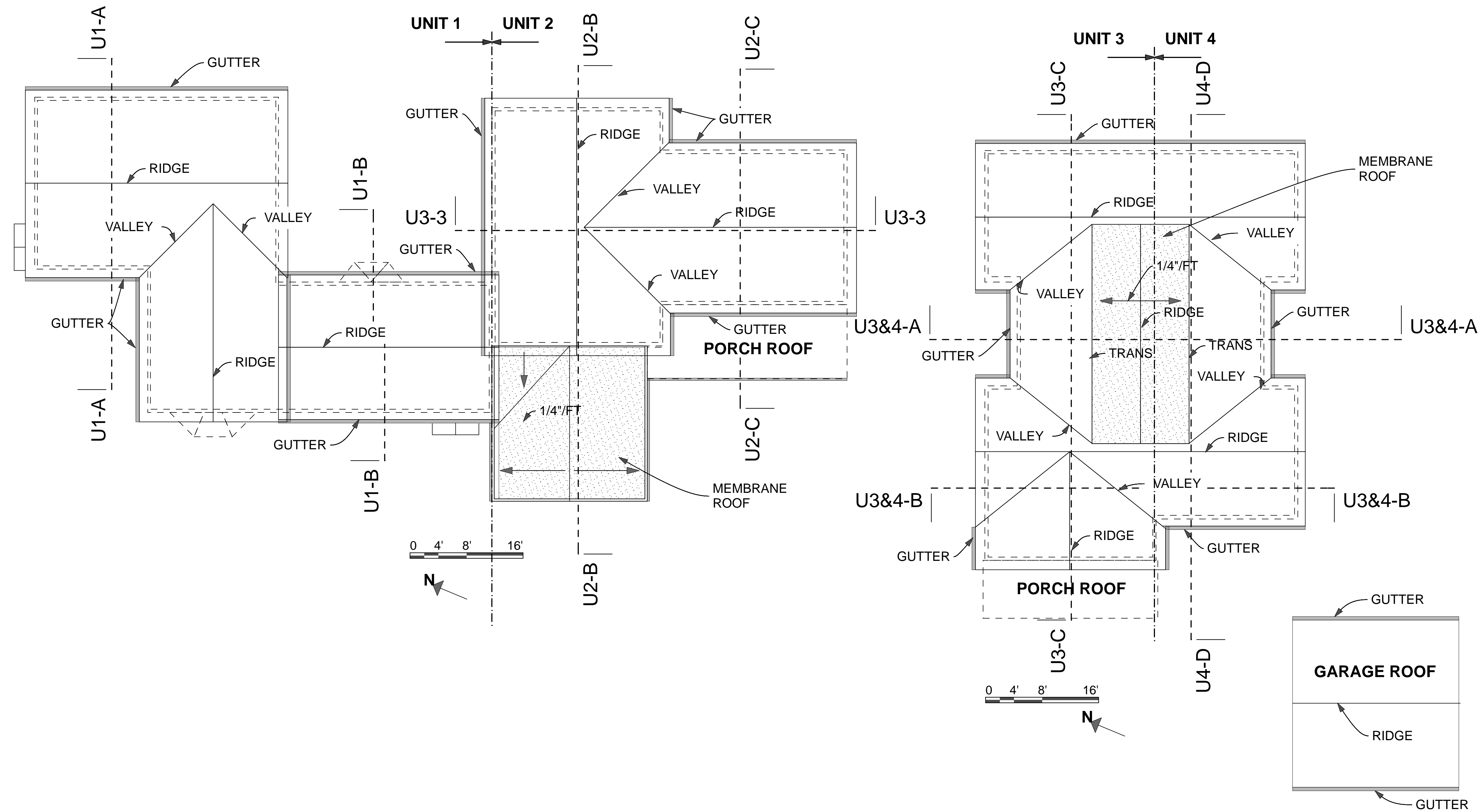



SECOND FLOOR FRAMING PLAN

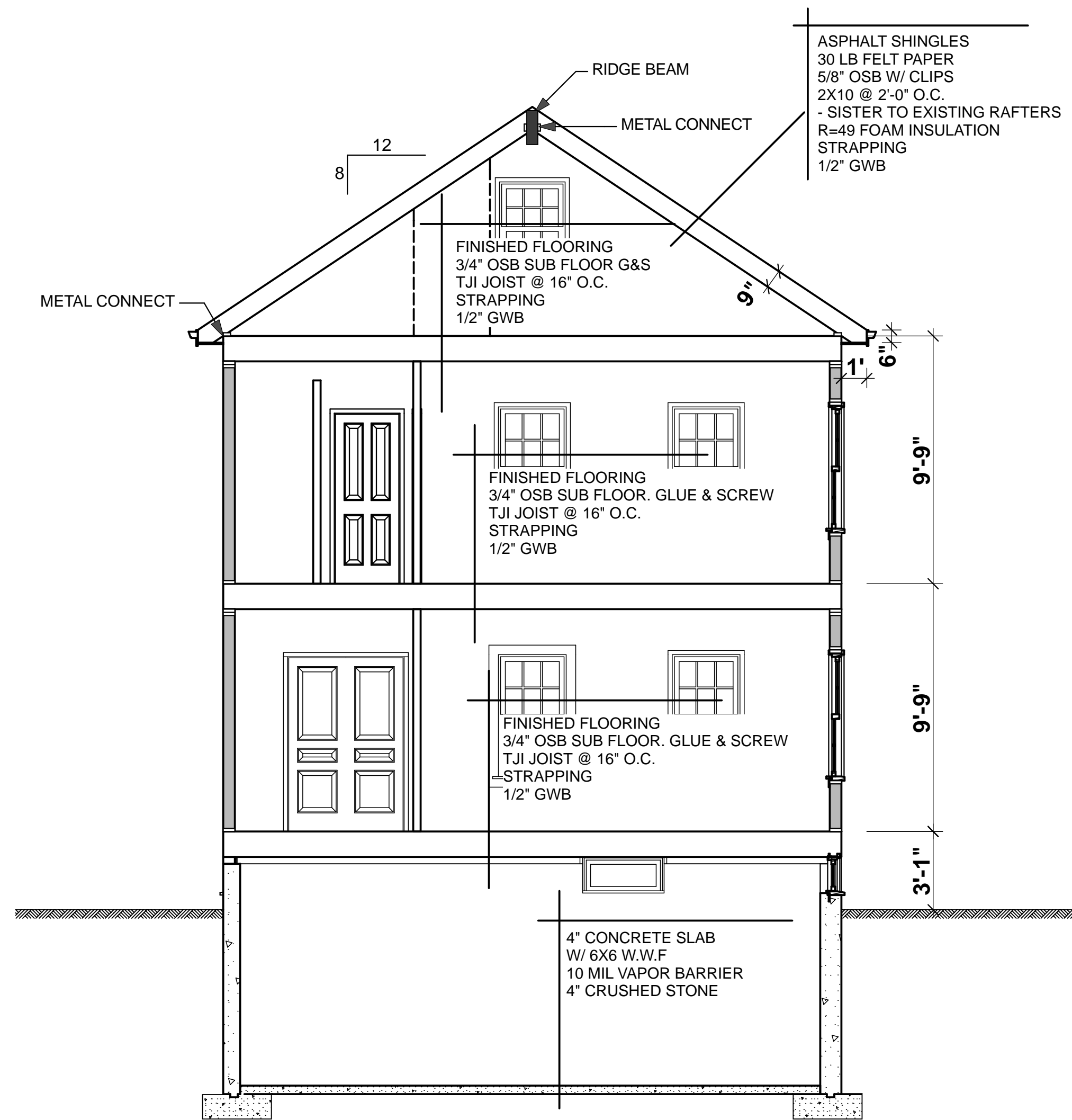


GARAGE ROOF FRAMING PLAN

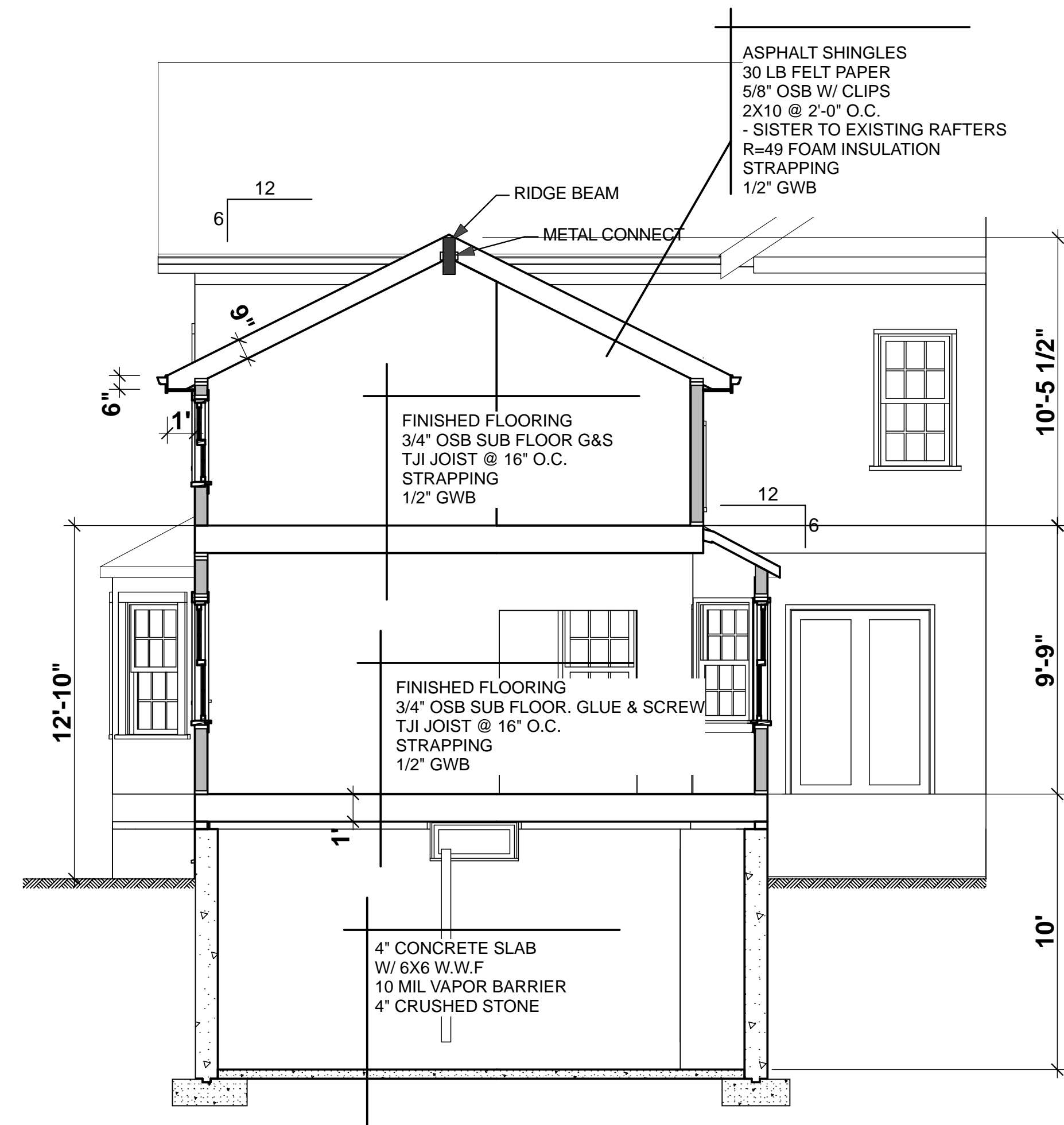
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Drawing: FRAMING PLANS UNITS 3&4		A11




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Drawing: ROOF PLAN UNITS 1,2,3&4		A12

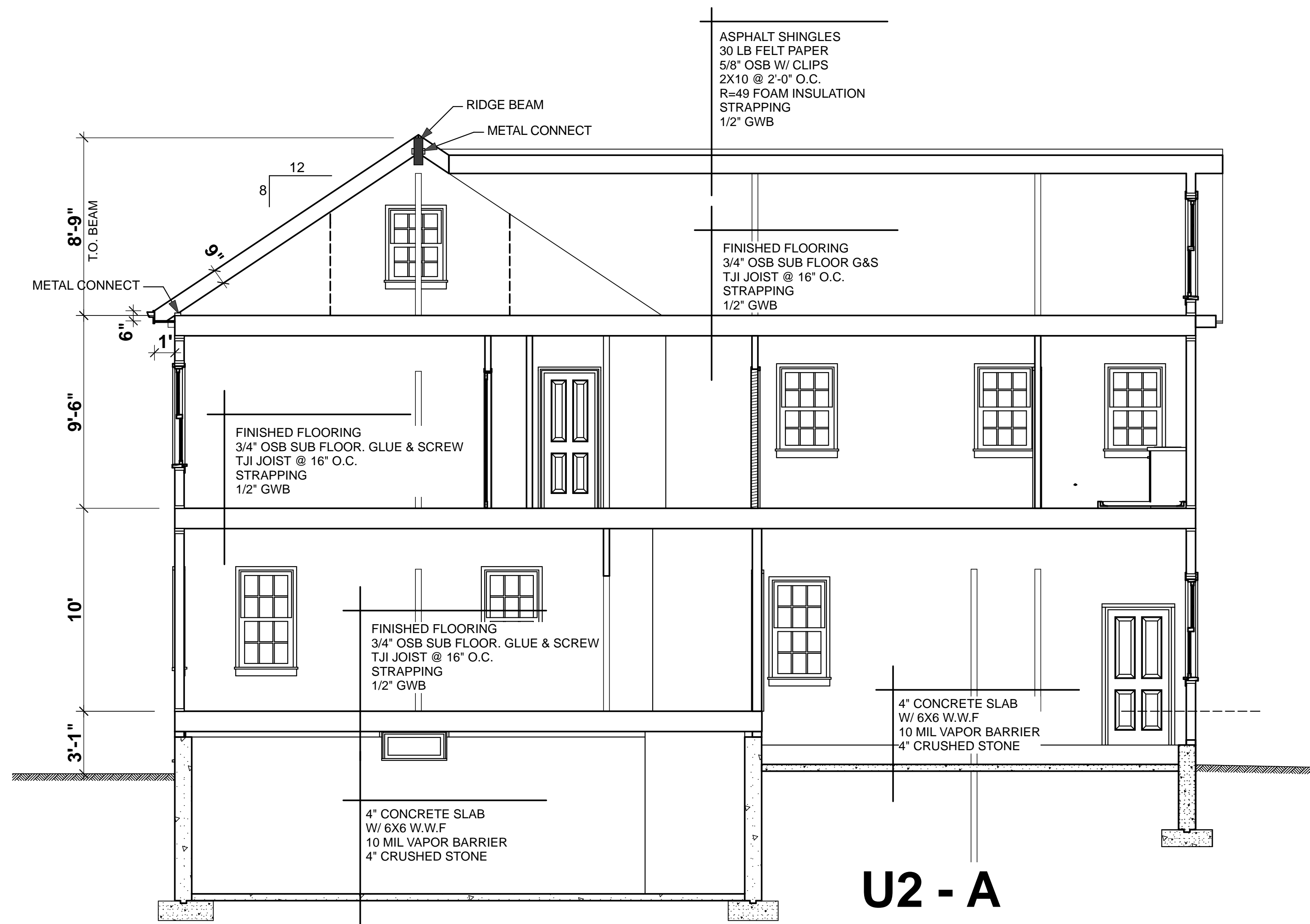


U1 - A

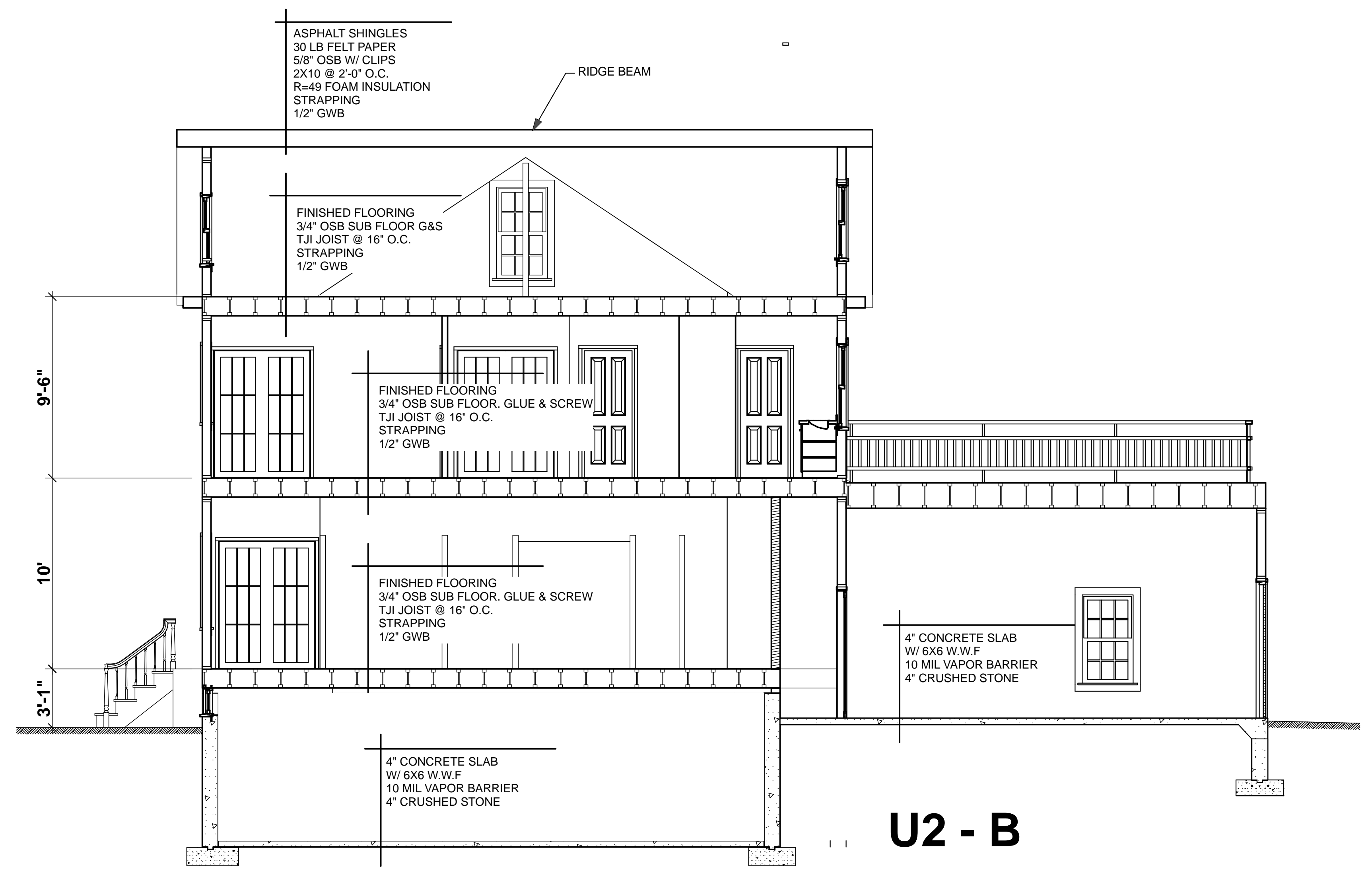


U1 - B

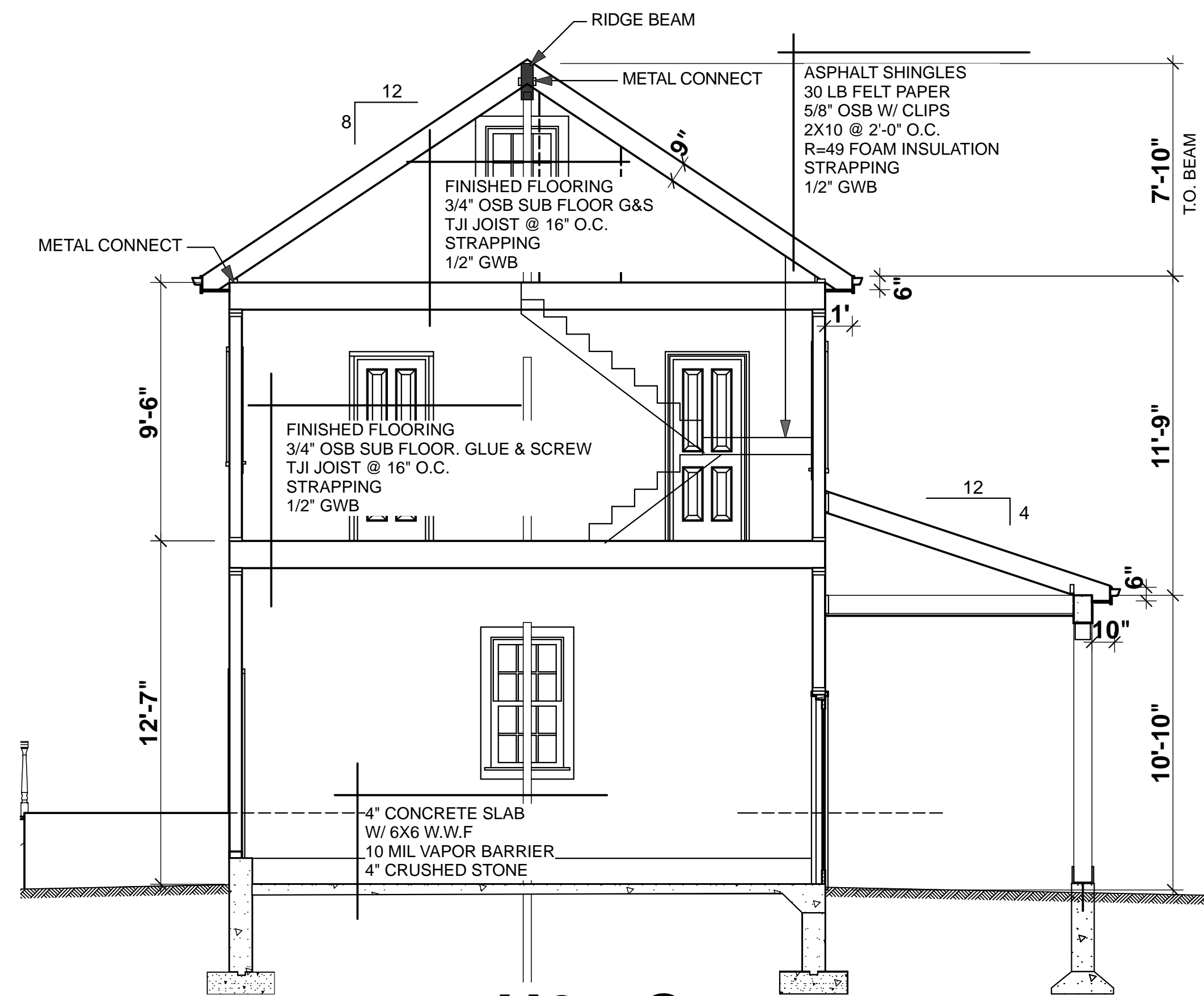
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Drawing:		A13
BUILDING SECTIONS UNIT 1		




U2 - A

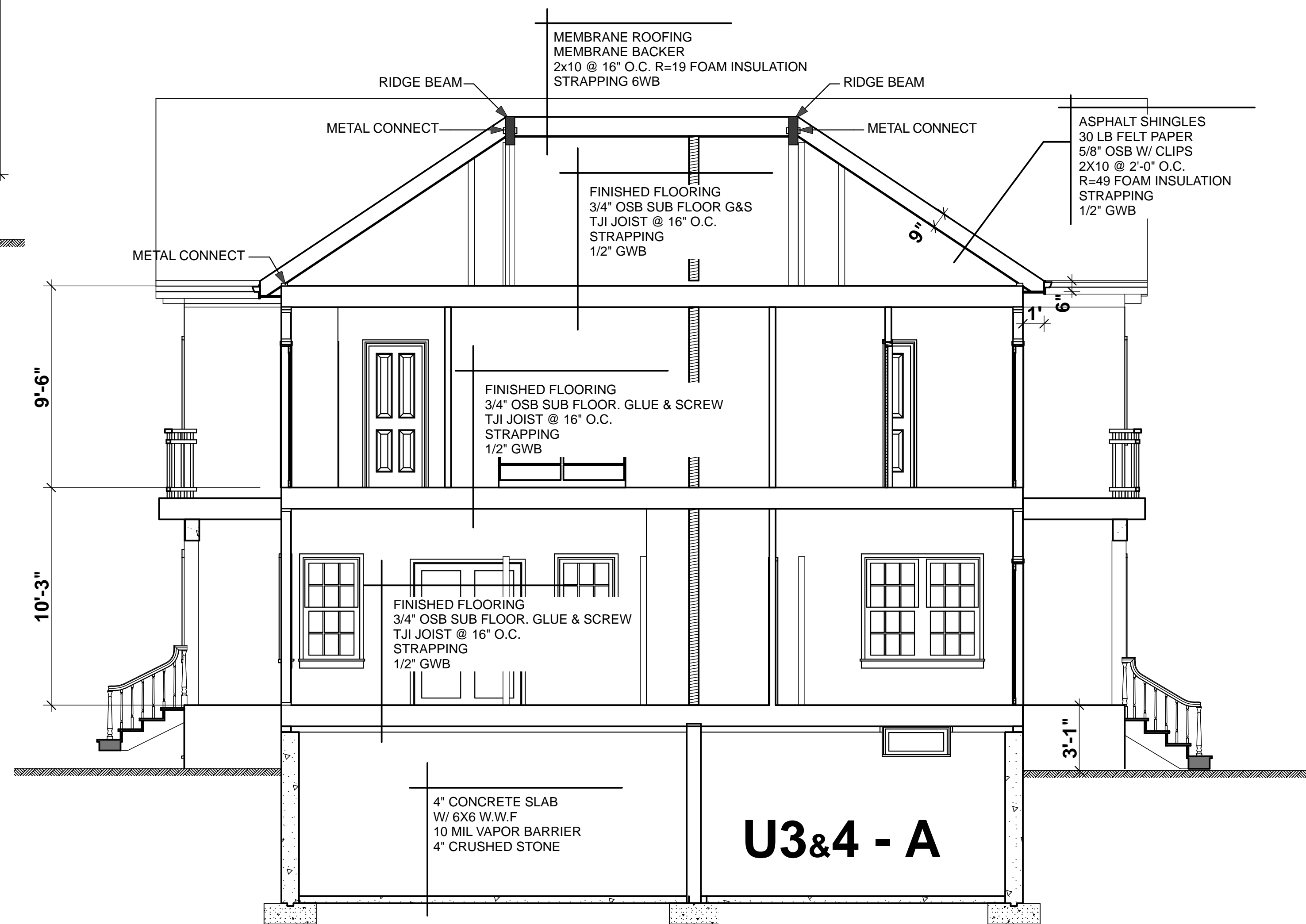
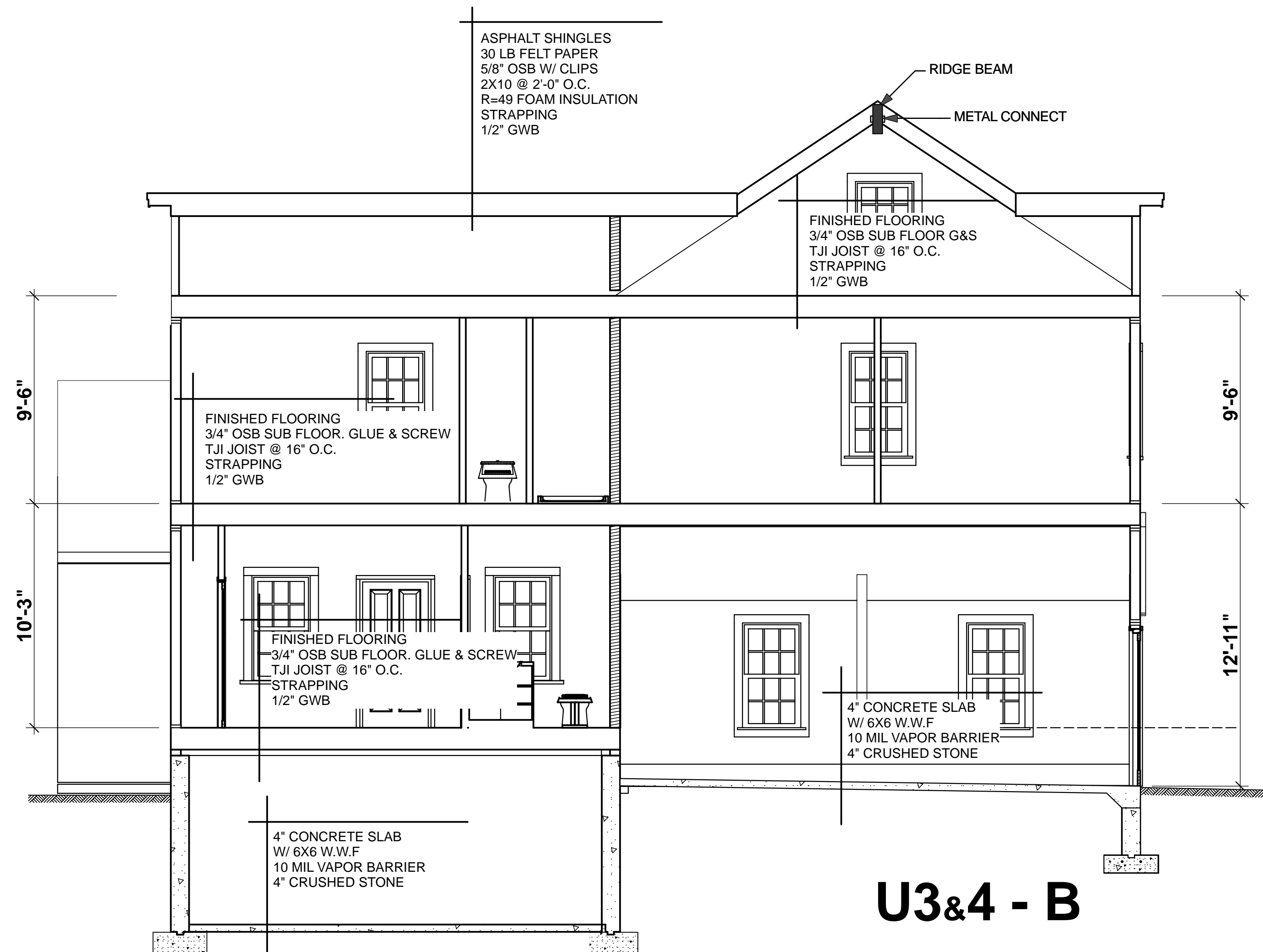
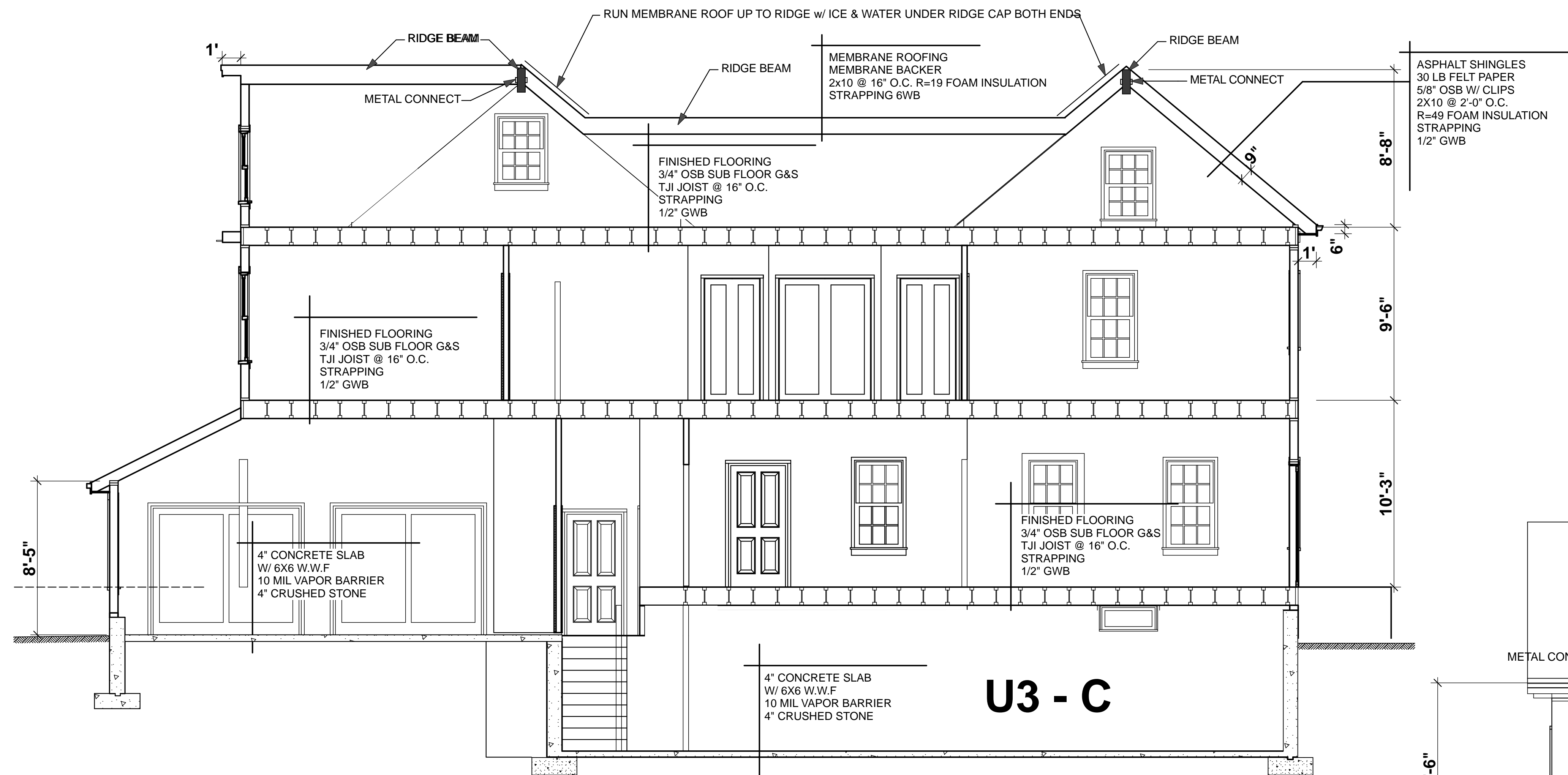


U2 - B

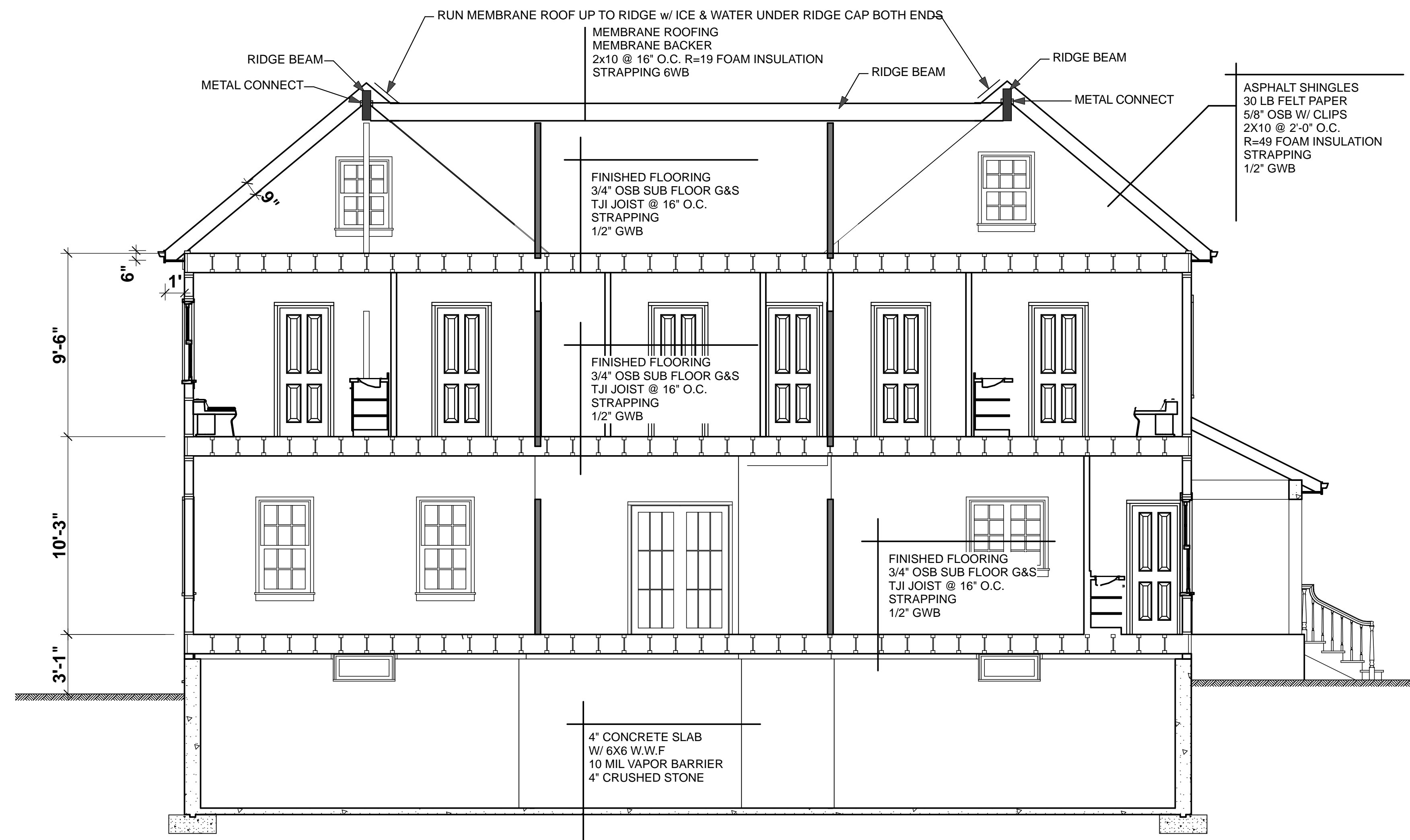


U2 - C


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Drawing:		A14
BUILDING SECTIONS UNIT 2		

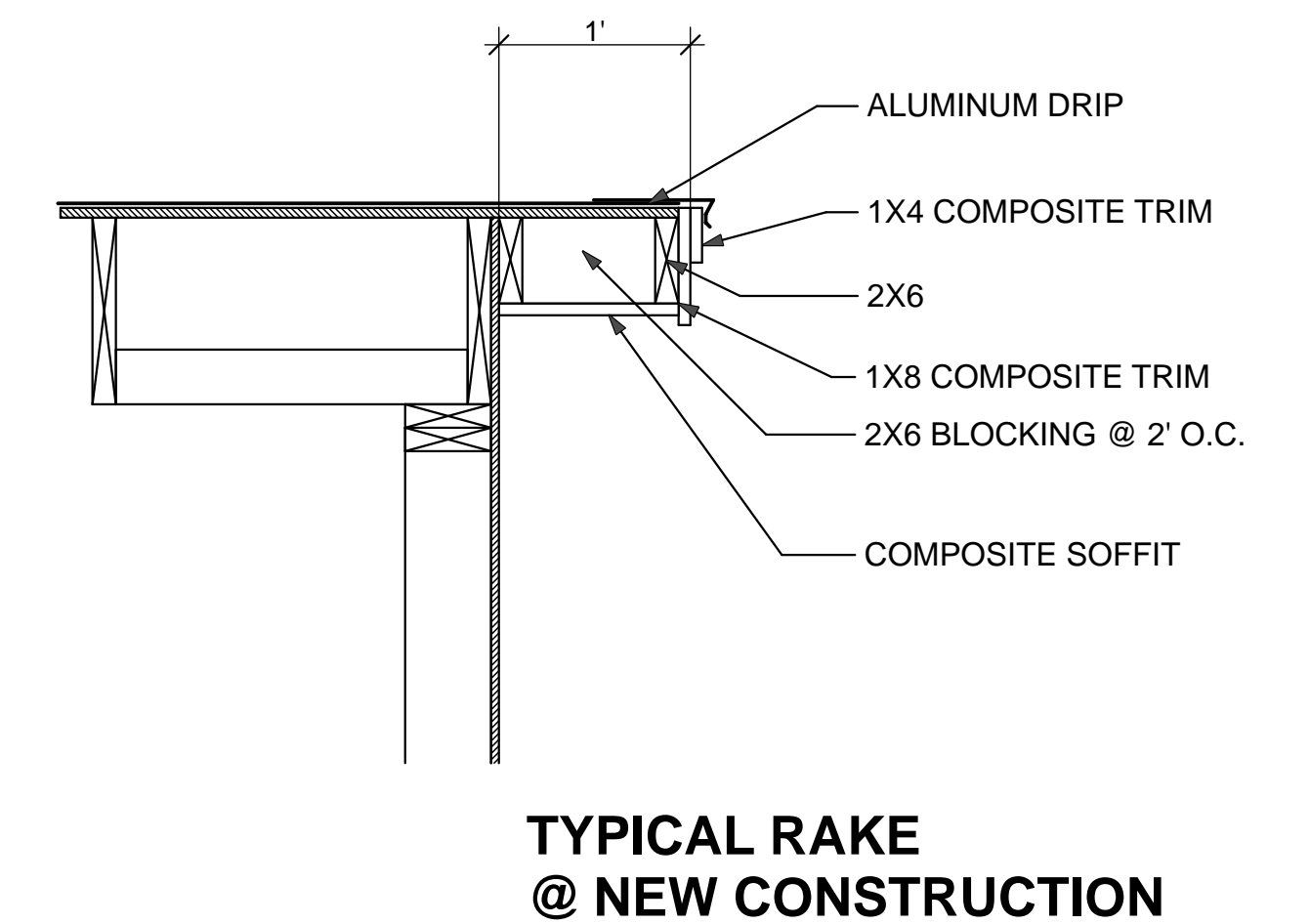
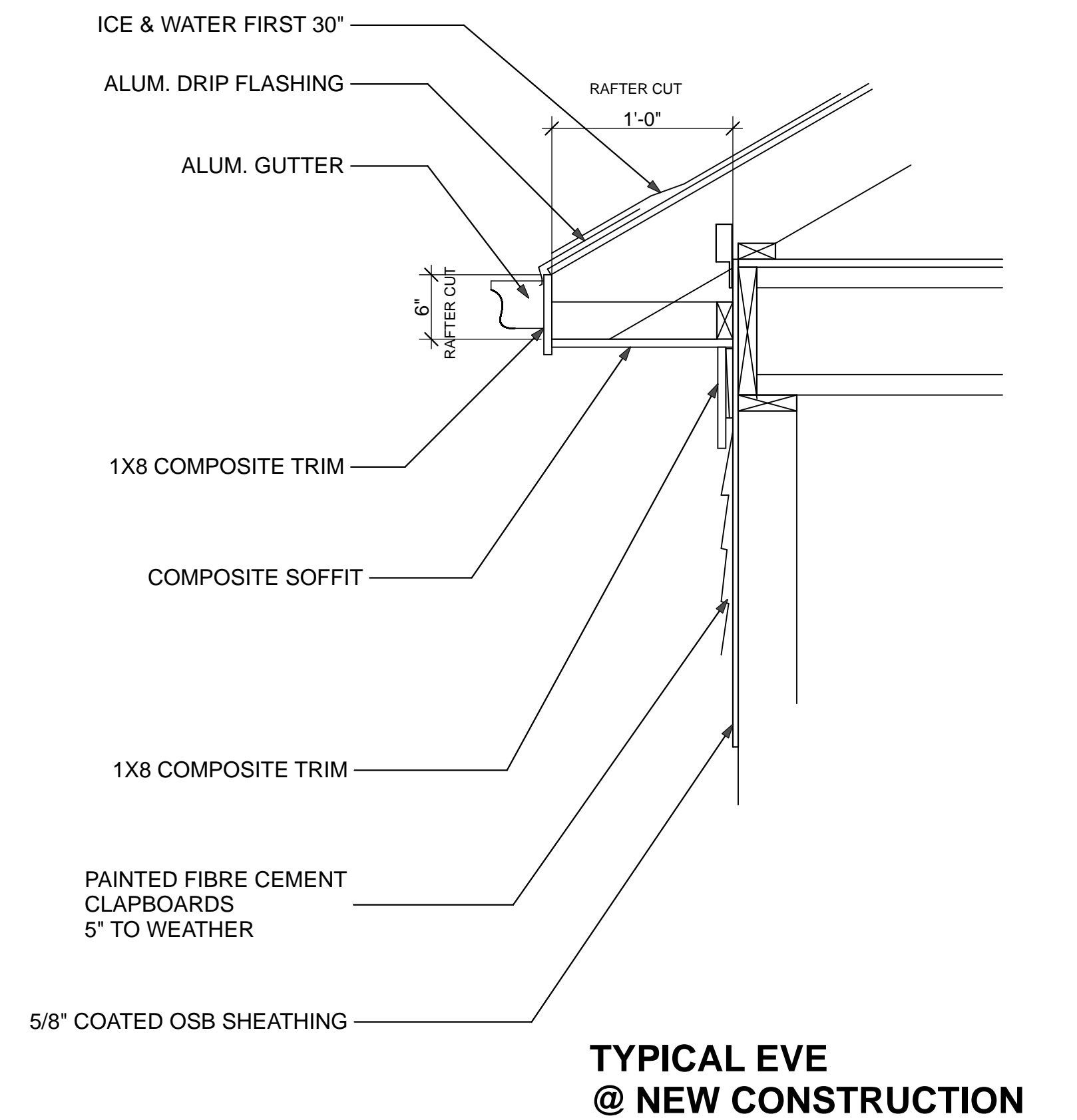
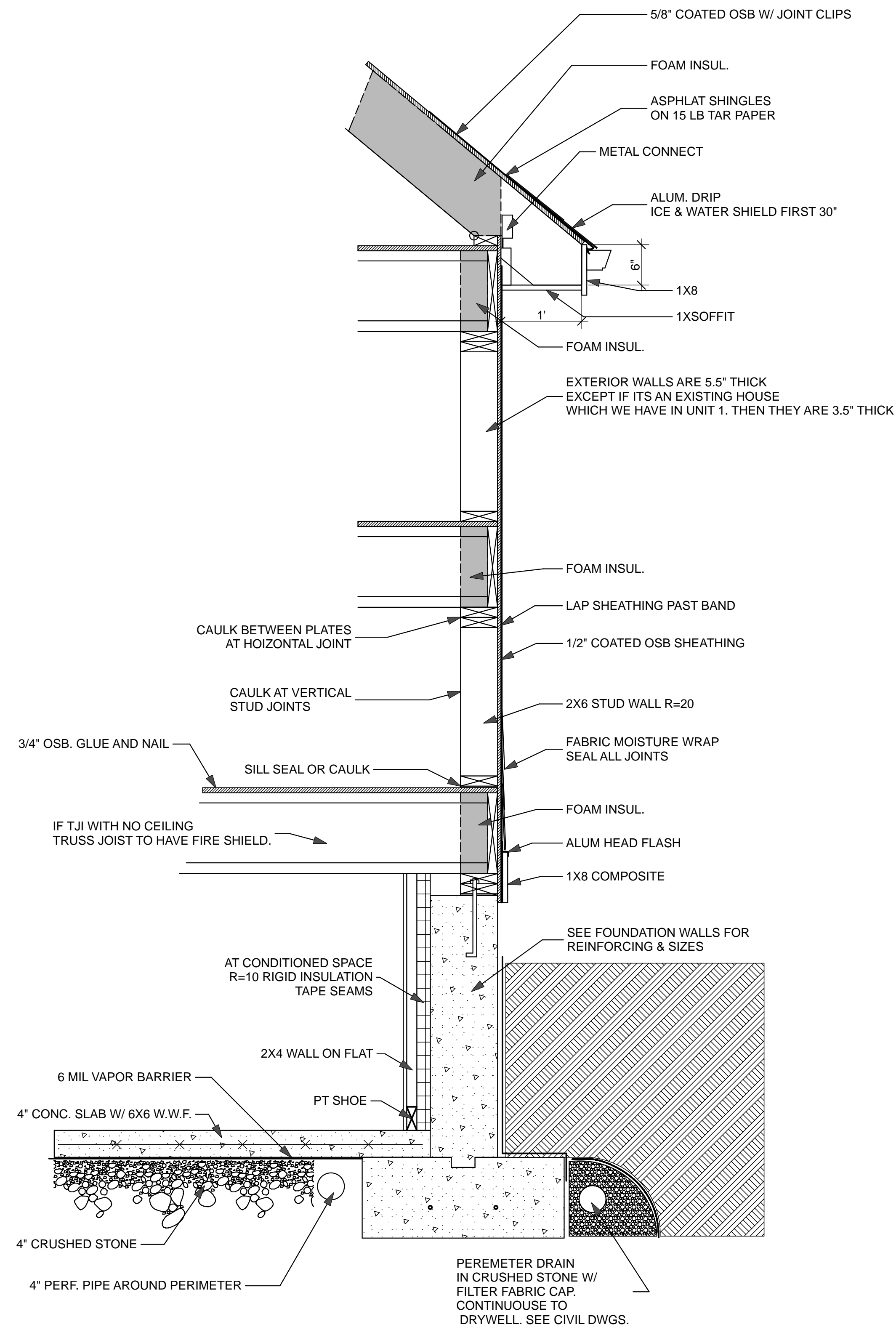
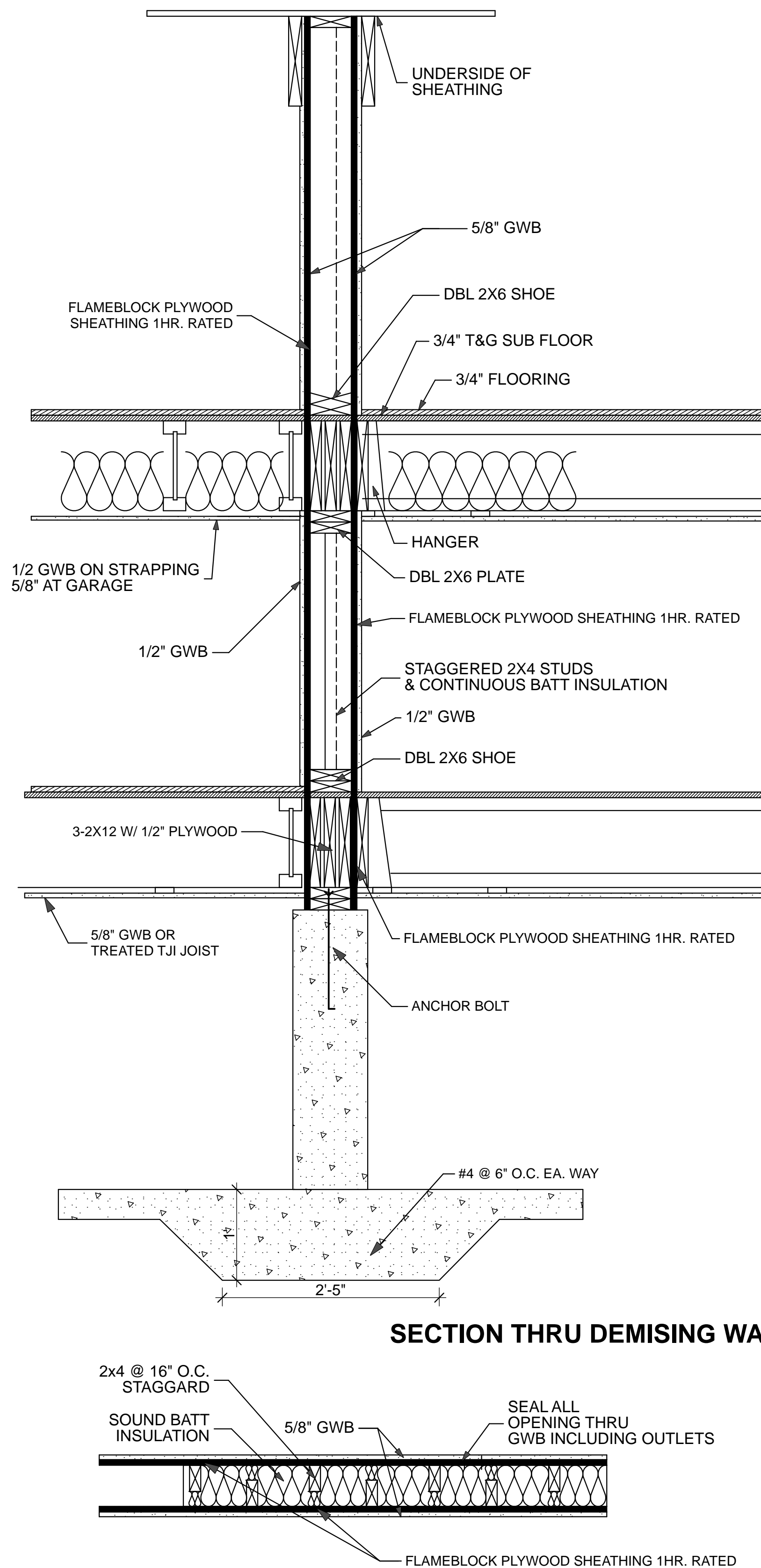


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Drawing:		A15
BUILDING SECTIONS UNIT3&4		

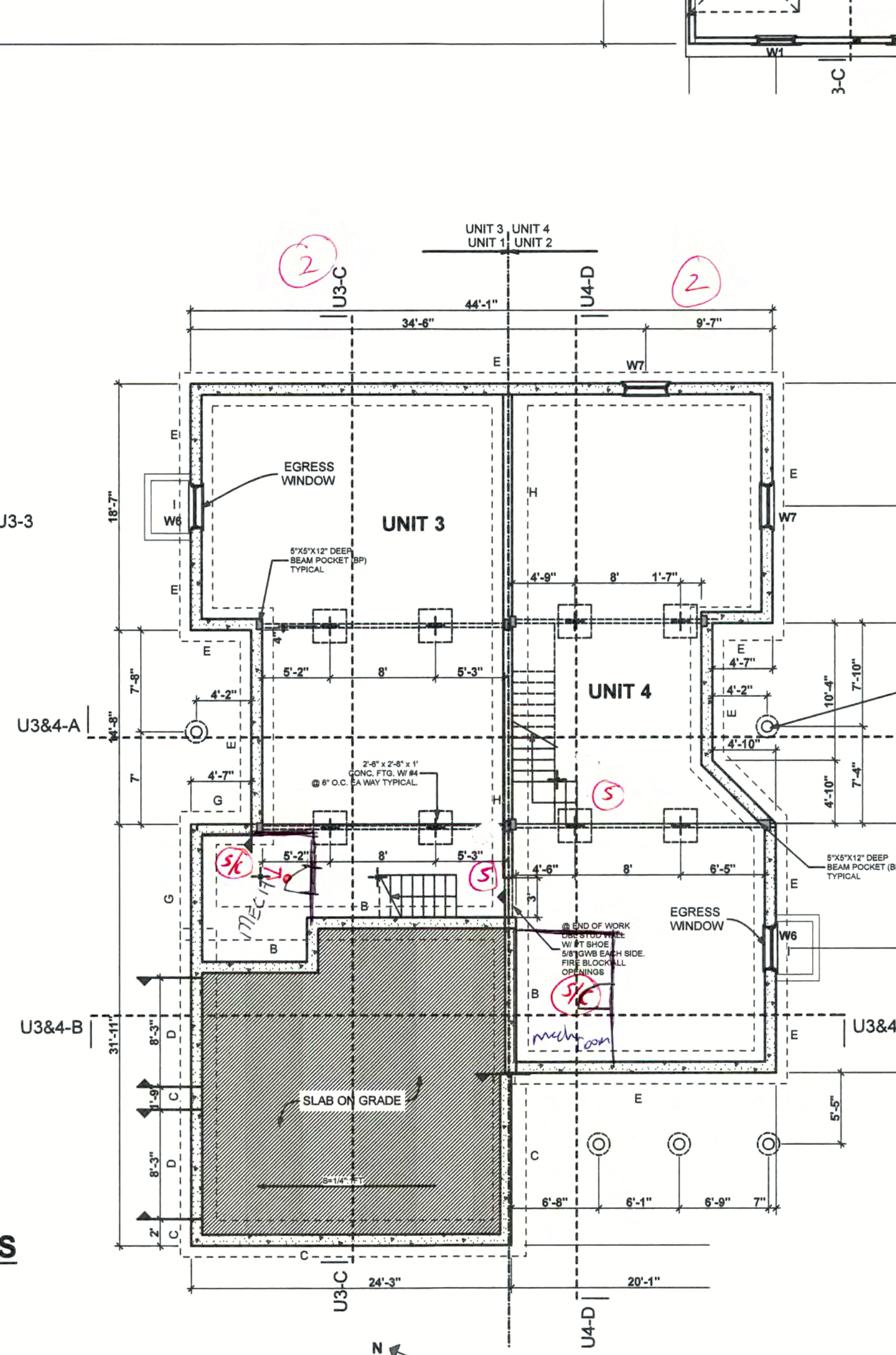
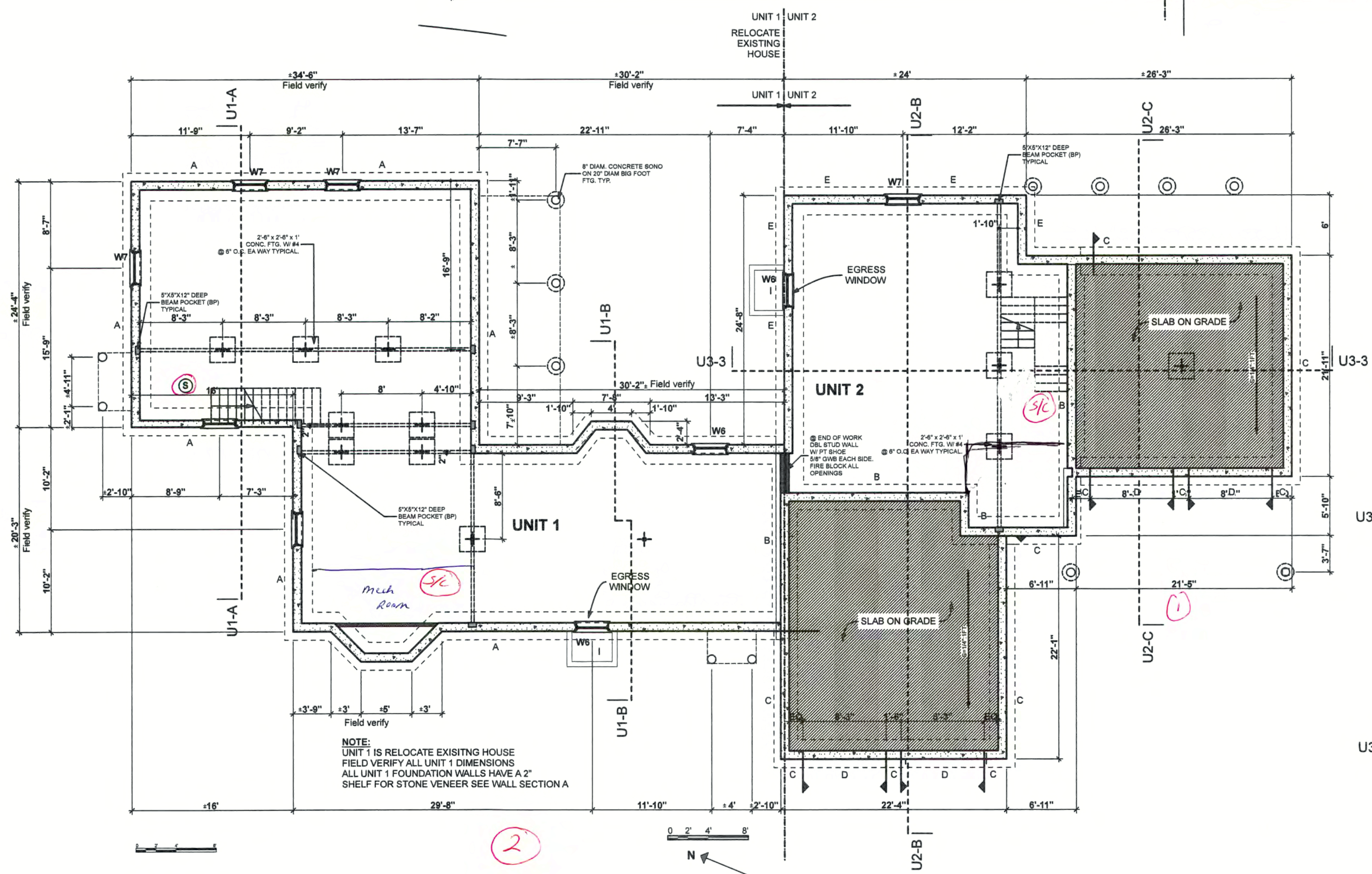
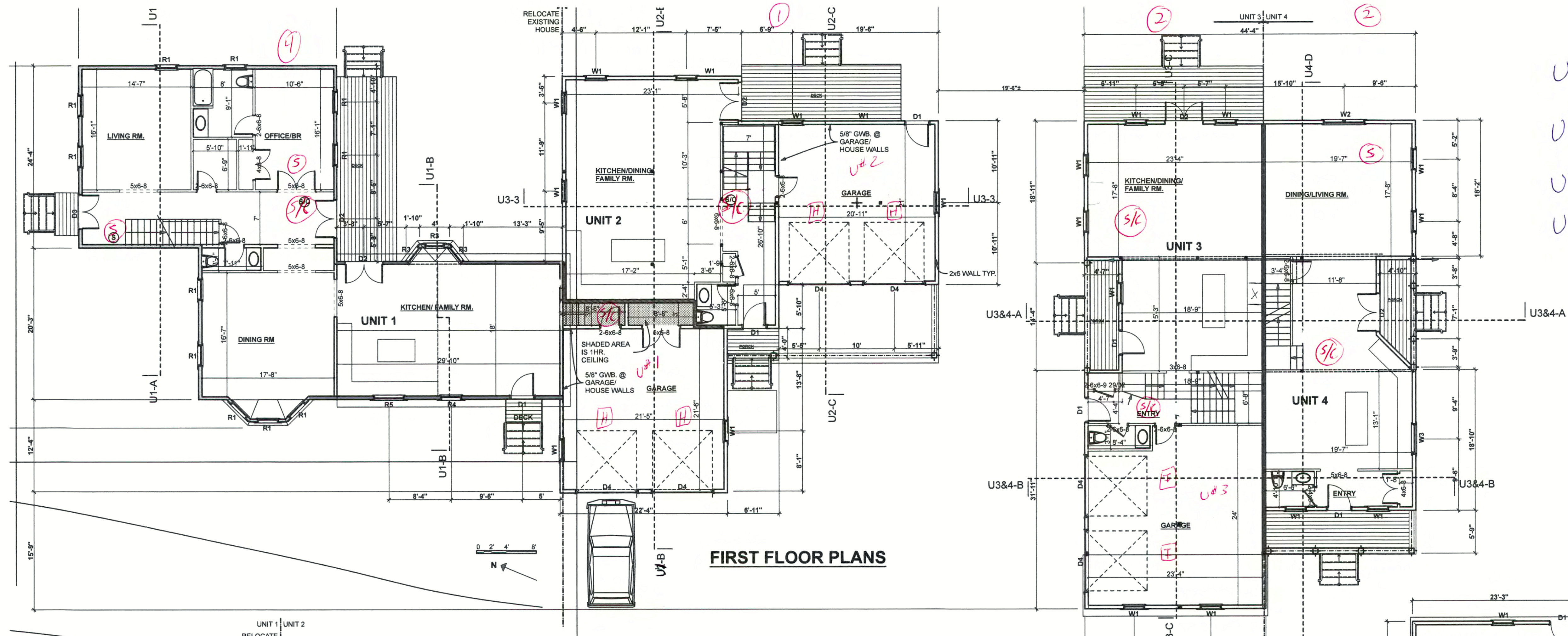


U4 - D

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Drawing:	BUILDING SECTION UNIT 4	A16



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Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402		
Drawing:	DEMISING WALL, WALL SECTION & EVE & RAKE DETAILS	A17

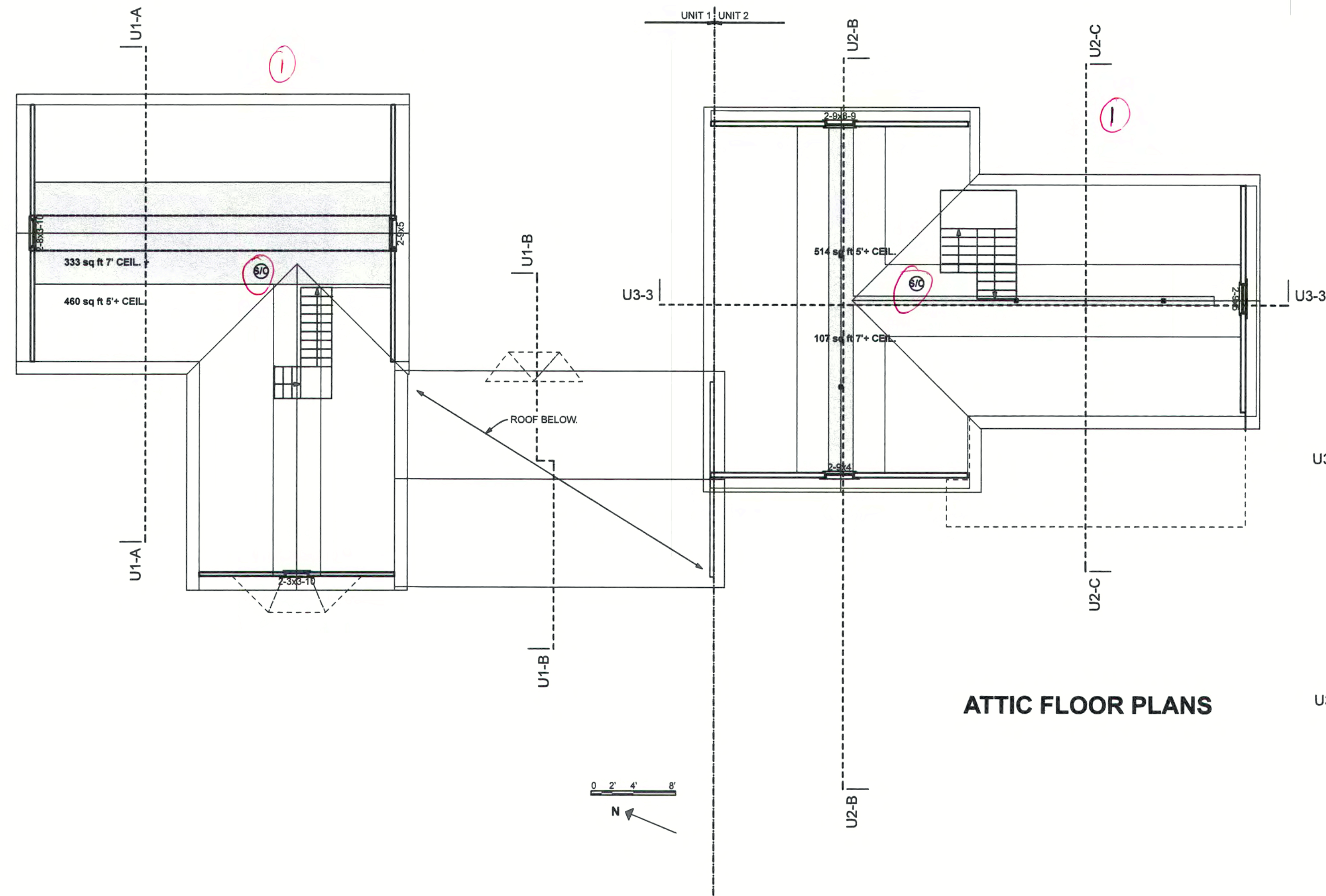


Plans have been reviewed and accepted

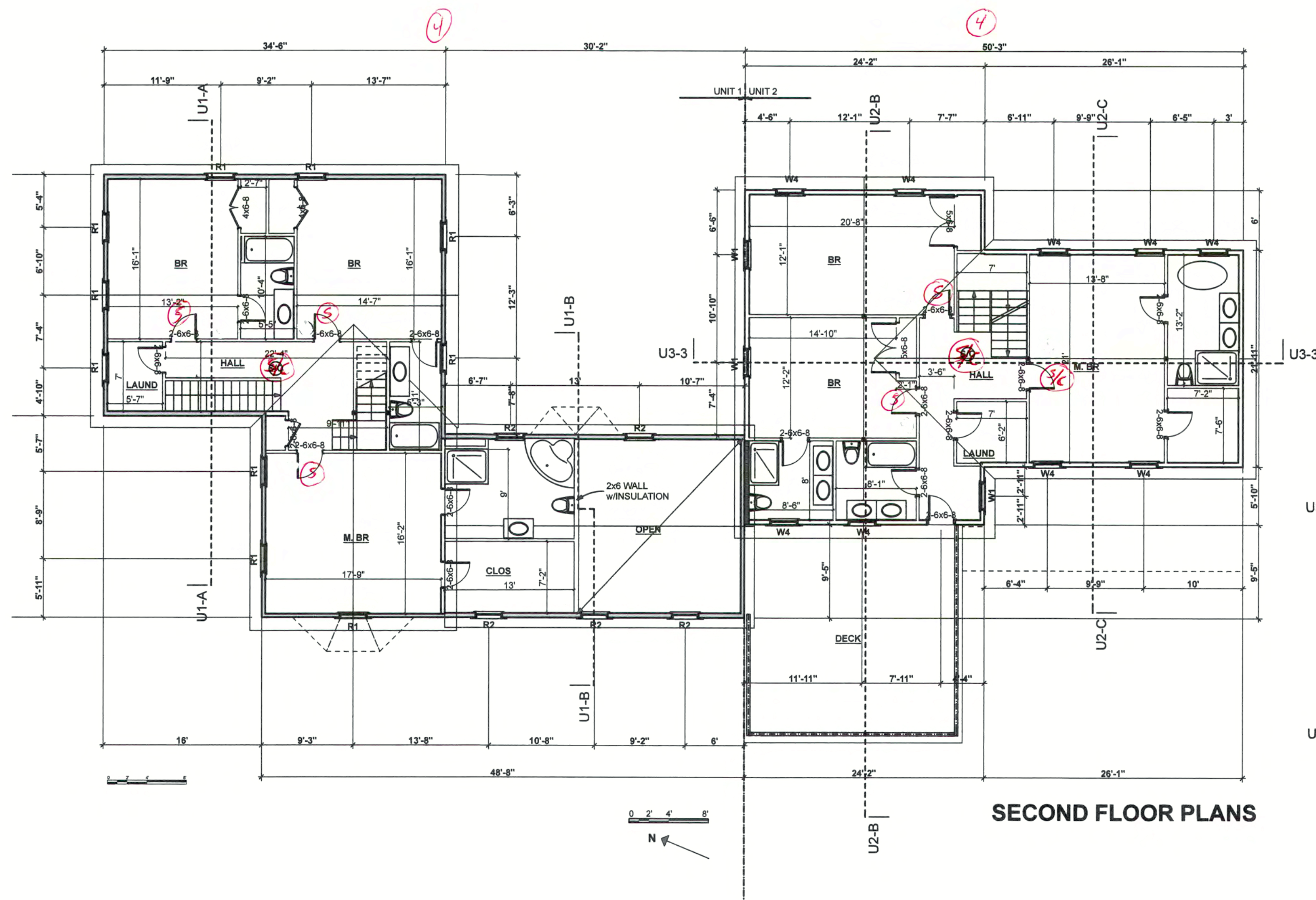
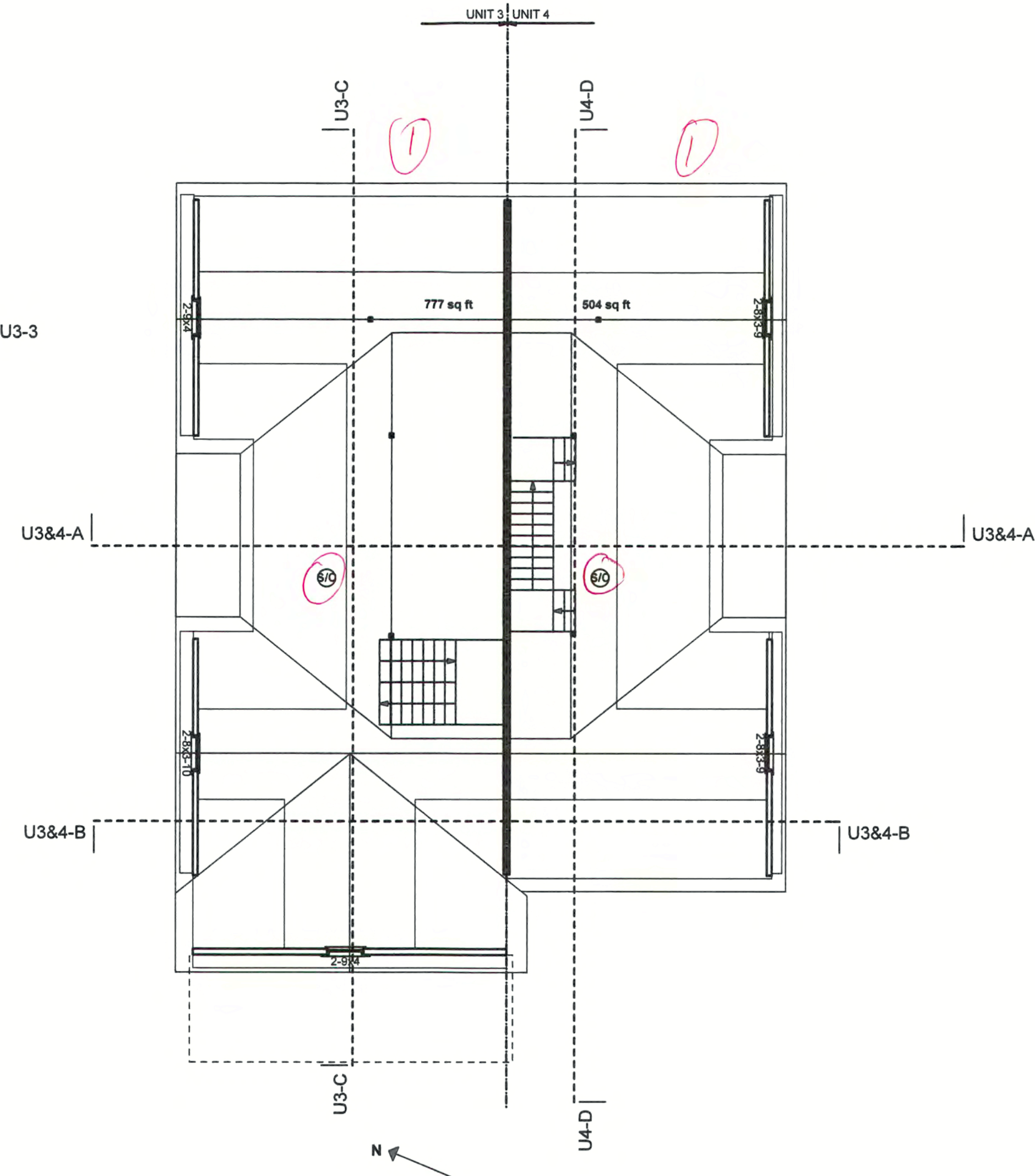
- ☒ For Building Permit Only
- ☐ For Demolition Only
- ☐ For Fire Alarm Approval Only
- ☐ For Site Review Only
- ☐ For Sprinkler Approval Only
- ☒ Fire Protection To be Designed & Submitted by Installer
- ☐ No Fire Protection Required Based on Plans Submitted
- ☐ Other

NEWTON FIRE DEPARTMENT
FIRE PREVENTION
SIGNATURE: *[Signature]*
DATE: 4-9-2018

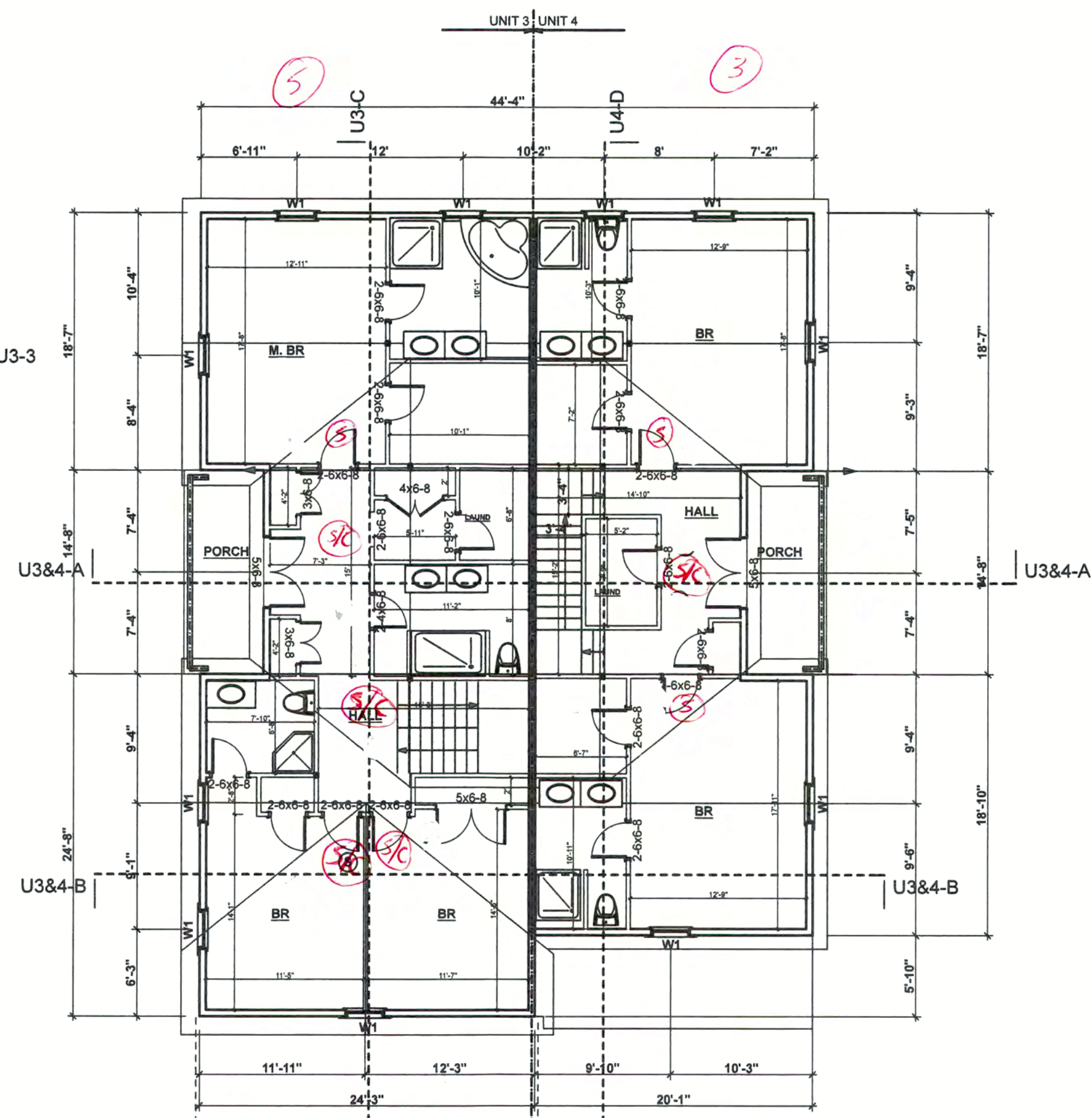
Project: 4 UNIT DEVELOPMENT FOR 336 NEWTONVILLE AVE			Date: 3-20-17
Owner: 336 Newtonville Ave LLC 28 Brooks Street Brighton, MA			Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skecheconet Way, W. Harwich, MA 017 272 5402
Drawing: FIRE DETECTION FIRST FLOOR & BASEMENT		FD1	



ATTIC FLOOR PLANS



SECOND FLOOR PLANS



Project: 4 UNIT DEVELOPMENT FOR 336 NEWTONVILLE AVE			Date: 3-20-17
Owner: 336 Newtonville Ave LLC 28 Brooks Street Brighton, MA			
Architect: SANGIOLO ASSOCIATES, ARCHITECTS 9 Skeheconet Way, W. Harwich, MA 017 272 5402			
Drawing: FIRE DETECTION SECOND FLOOR & ATTIC		FD2	